





APN: 508-111-009  
OWNER: MUGGERIDGE, DOROTHY

APN: 508-101-061  
OWNER: CUMMINGS, CHRIS

APN: 508-101-057  
OWNER: SCHIRMANN, JACKIE & RICHARD

APN: 508-281-022  
OWNER: ERVIN, CRAIG

APN: 508-281-023  
OWNER: DANBRAUSKAS, SCOTT

APN: 508-091-035  
OWNER: HOGEMAN, AUBREY  
& MURPHY, PETER & LISA

APN: 508-091-040  
OWNER: STAMMER, PATRICIA  
& SYLVIA, FREDDY & DONALD

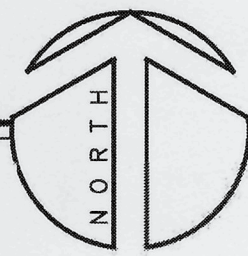
APN: 508-091-032  
OWNER: DIBBLE, DAVID & GAIL

APN: 508-091-033  
OWNER: OVERLY, VIRGIL & LINDA

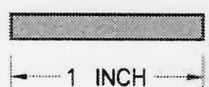
APN: 508-081-034  
OWNER: MCKINLEYVILLE  
COMMUNITY SERVICES DISTRICT

# SITE PLAN

SCALE: 1"=40'

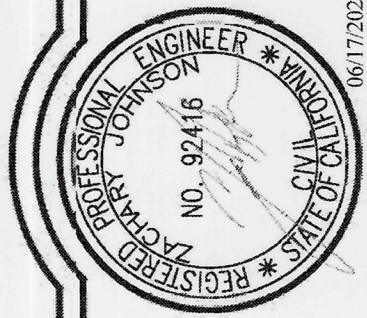


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REVISIONS	BY



## WHITCHURCH ENGINEERING, INC.

610 9th Street, Fortuna, California 95540  
Phone (707) 725-8826

## RUFFINO RESIDENTIAL SUBDIVISION

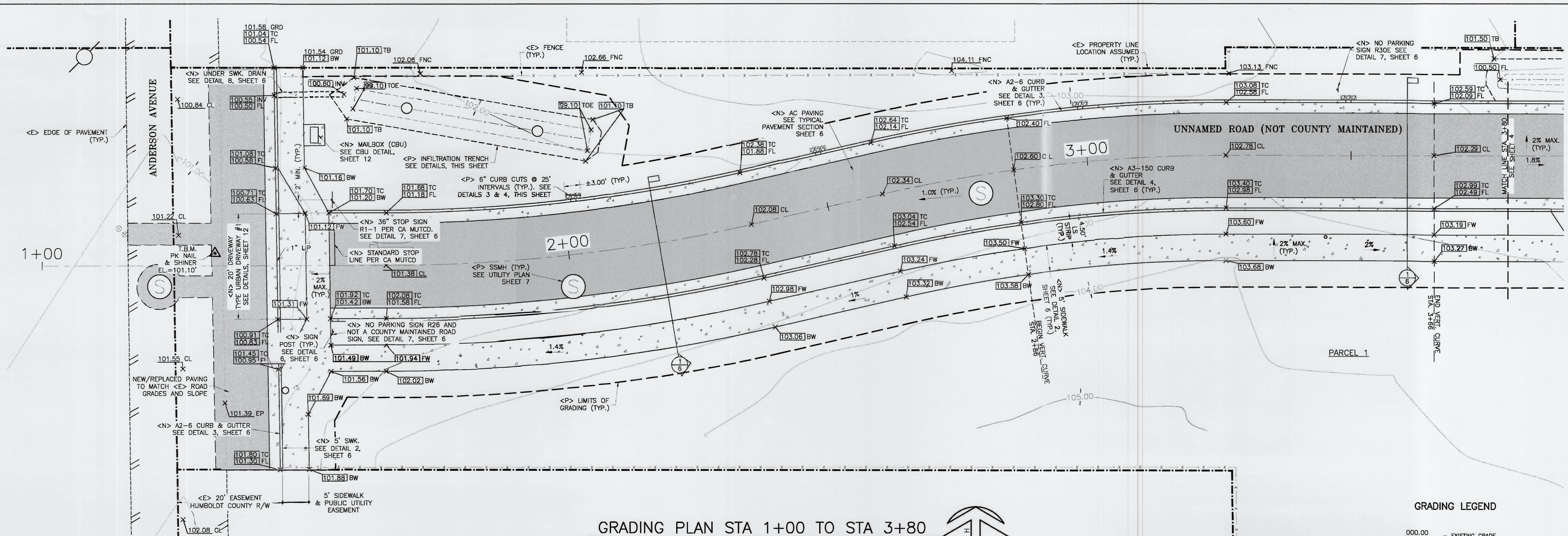
ANDERSON AVENUE, MCKINLEYVILLE, CA 95519

## NOTES & SITE PLAN

For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973

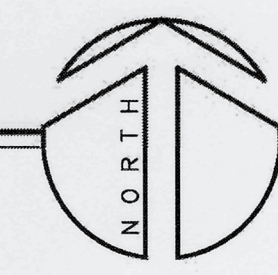
Date	APR 28, '25
Scale	AS NOTED
Design	ZDJ
Drawn	ALW
Job	RUF2101.1
Sheet	2





GRADING PLAN STA 1+00 TO STA 3+80

SCALE: 1"=10'

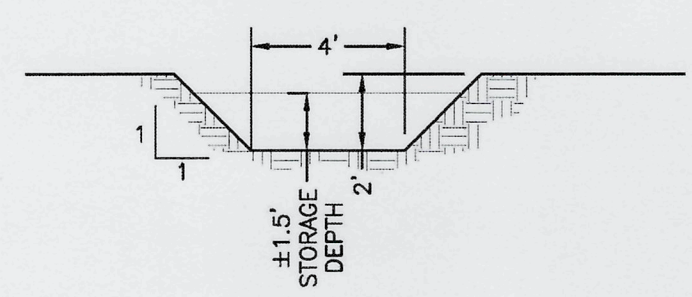


ABBREVIATIONS

- AC ASPHALT CONCRETE
- AGG. AGGREGATE
- APPROV. APPROVED
- BW BACK OF WALK
- CC CONCRETE
- CL CENTERLINE
- CO CLEANOUT
- CONC. CONCRETE
- DI DRAINAGE INLET
- DWY DRIVEWAY
- <E> EXISTING
- EL ELEVATION
- ELEC. ELECTRICAL
- EP EDGE OF PAVEMENT
- EXIST. EXISTING
- FH FIRE HYDRANT
- FL FLOW LINE
- FNC FENCE
- FW FRONT OF WALK
- GD GROUND
- GM GAS METER
- GRD GROUND
- HP HIGH POINT
- JB JUNCTION BOX
- MH MANHOLE
- MIN. MINIMUM
- <N> NEW
- <P> PROPOSED
- P.P.S. POUNDS PER SQUARE INCH
- PUE PUBLIC UTILITY EASEMENT
- R/W RIGHT OF WAY
- SD STORM DRAIN
- S.F. SQUARE FOOT
- SQ. SQUARE
- SHT. SHEET
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- STA STATION
- SWK. SIDEWALK
- TB TOP OF BANK
- T.B.M. TEMPORARY BENCH MARK
- TBR TO BE REMOVED
- TC TOP OF CURB
- THK. THICK
- TOE TOE OF THE SLOPE
- TOG TOP OF GRATE
- UTL. UTILITY
- W. WATER
- W/ WITH
- WM WATER METER
- WV WATER VALVE

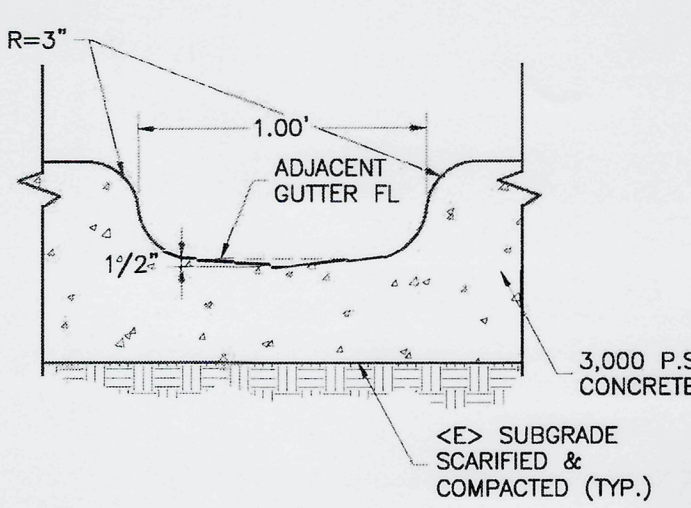
1 TYPICAL INFILTRATION TRENCH SECTION

NO SCALE



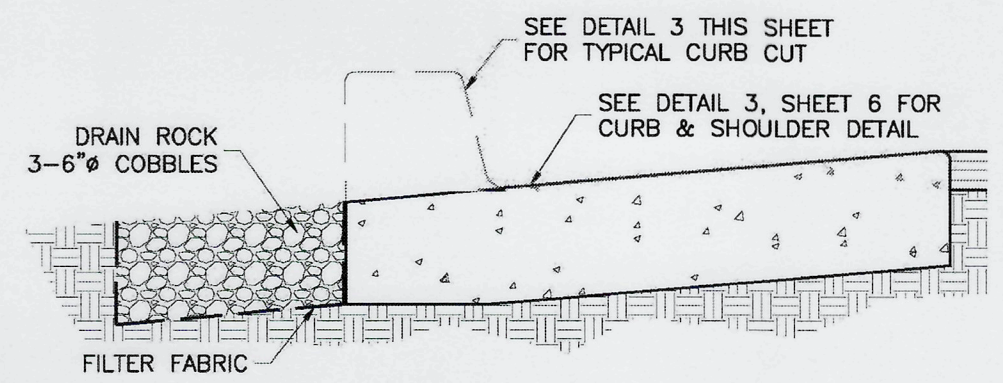
3 TYPICAL CURB CUT

NO SCALE



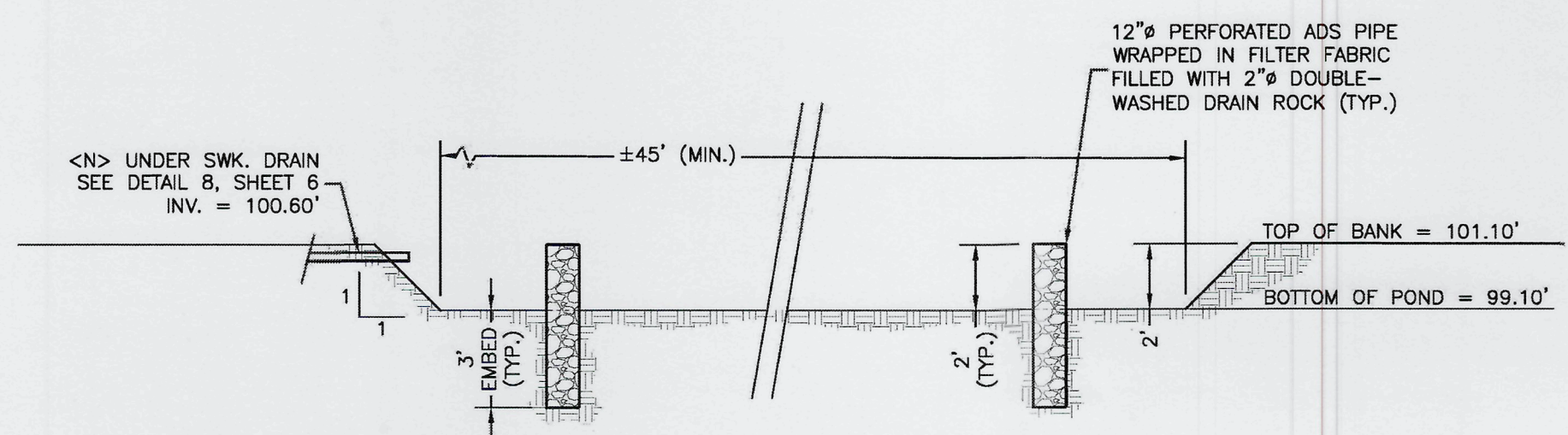
4 TYPICAL CURB CUT SECTION

NO SCALE



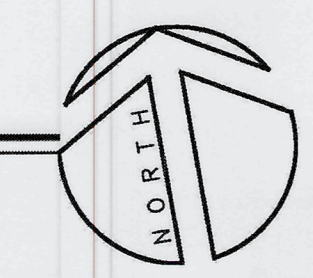
2 TYPICAL INFILTRATION TRENCH SECTION

NO SCALE



INFILTRATION TRENCH PLAN

SCALE: 1"=10'



GRADING LEGEND

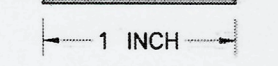
- 000.00 - EXISTING GRADE
- 000.00 - PROPOSED GRADE
- OVERLAND FLOW DIRECTION
- NEW/REPLACED AC PAVING
- NEW/REPLACED CC
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED LIMITS OF GRADING

GRADING NOTES

- THIS IS NOT A BOUNDARY SURVEY. BOUNDARY LINES AND EASEMENTS SHOWN ARE ASSUMED AND BASED ON ASSESSOR PARCEL MAPS AND DATA CONTAINED WITHIN A PRELIMINARY TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE COMPANY OF CALIFORNIA, TITLE NO. FFHO-20121001375, DATED JANUARY 7, 2021.
- STRAIGHT GRADE BETWEEN FINISHED GRADES SHOWN.
- CONTOURS ARE SHOWN AT 1' INTERVAL.
- GRADE ELEVATIONS BASED ON TOPOGRAPHIC SURVEY PERFORMED BY WEI ON 12/21/21.
- TEMPORARY BENCHMARK LOCATED ON THE EAST SIDE OF ANDERSON ROAD ALONG THE PROJECT FRONTAGE. PK NAIL & SHINER WITH ASSUMED ELEVATION OF 101.10'. VERTICAL DATUM IS ASSUMED.
- HORIZONTAL DATUM IS NAD83.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SURFACE FEATURES AND SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. WHITCHURCH ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED.



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REVISIONS	BY

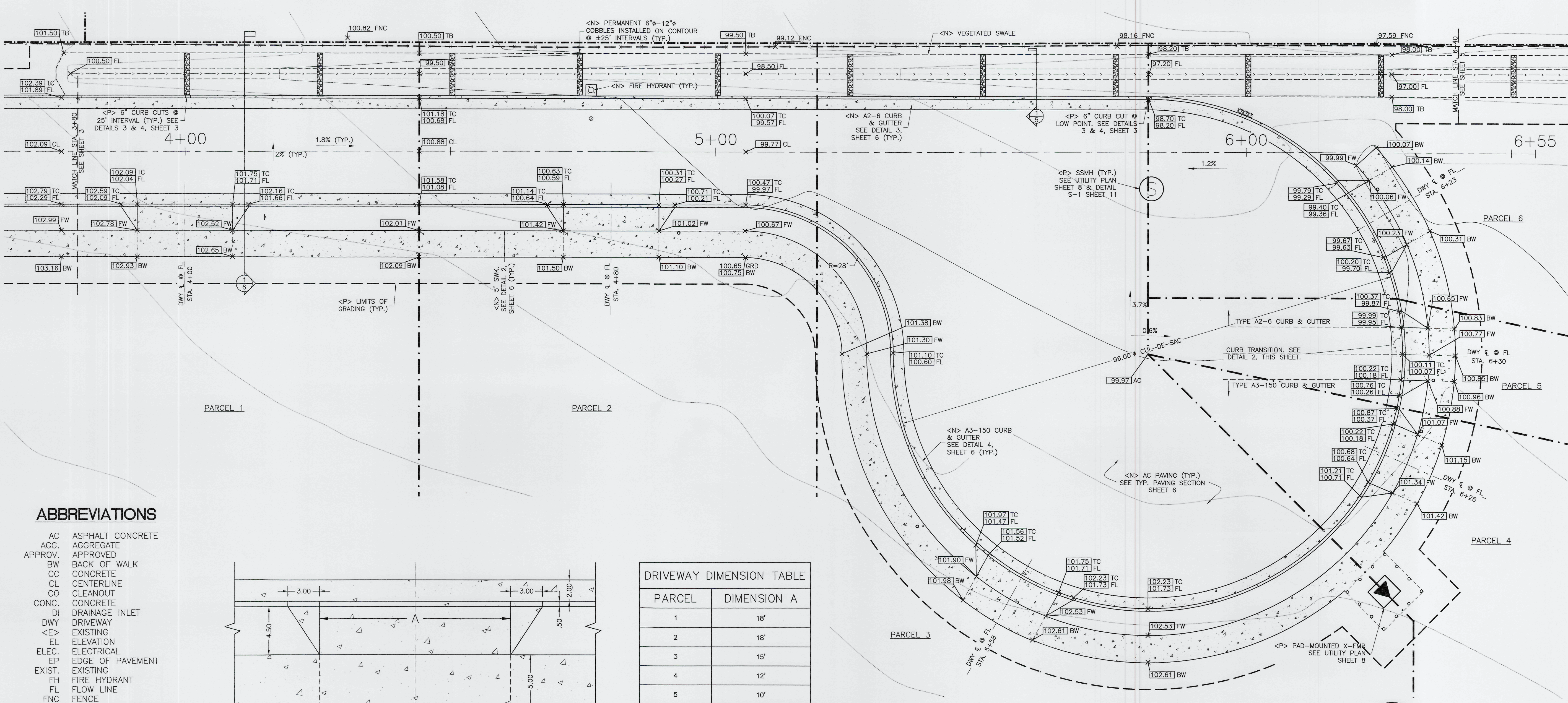
**WHITCHURCH ENGINEERING, INC.**  
610 9th Street Fortuna, California 95540  
Phone (707) 725-6926

**RUFFINO RESIDENTIAL SUBDIVISION**  
ANDERSON AVENUE, MCKINLEVILLE, CA 95519  
APN: 508-081-039

**PARTIAL GRADING PLAN**  
For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973

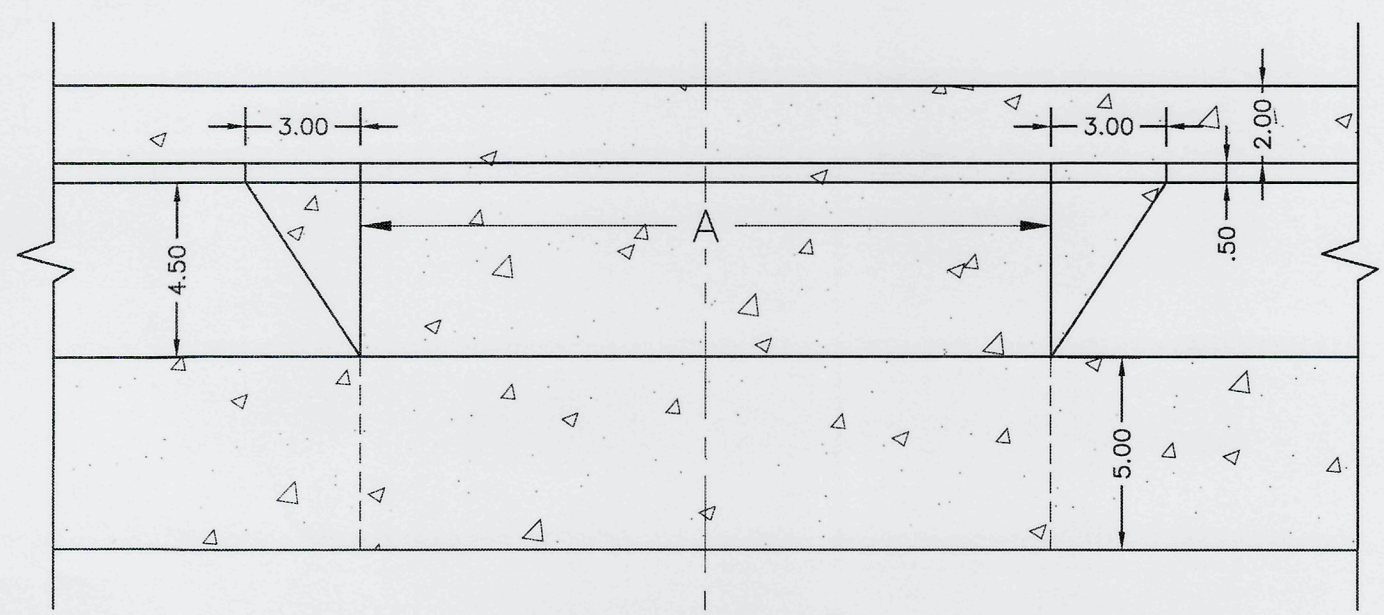
Date	APR 28, '25
Scale	AS NOTED
Design	ZDJ
Drawn	ALW
Job	RUF2101.1
Sheet	3





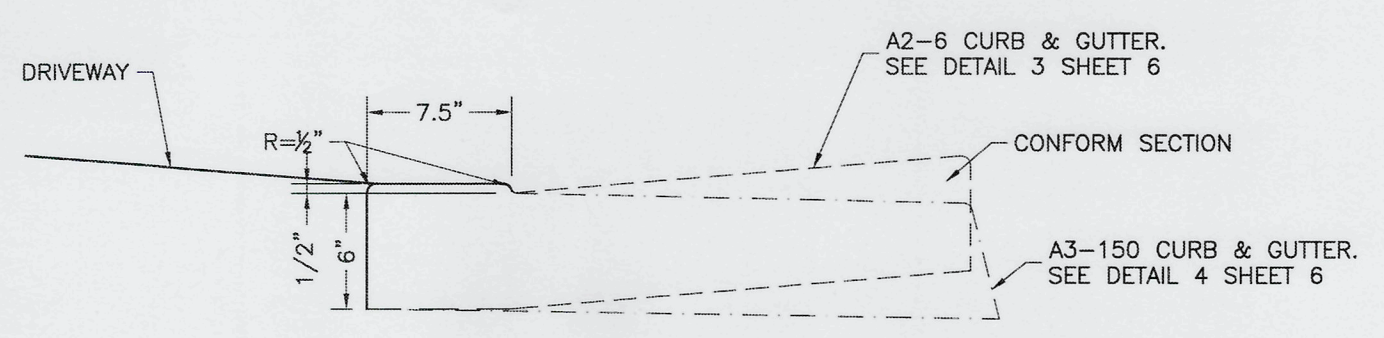
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- W WATER
- W/ WITH
- WM WATER METER
- WV WATER VALVE



1 DRIVEWAY DIMENSION DETAIL  
NO SCALE

DRIVEWAY DIMENSION TABLE	
PARCEL	DIMENSION A
1	18'
2	18'
3	15'
4	12'
5	10'
6	14'



2 CURB TRANSITION DETAIL  
NO SCALE

GRADING LEGEND

- 000.00 - EXISTING GRADE
- 000.00 - PROPOSED GRADE
- OVERLAND FLOW DIRECTION
- NEW/REPLACED AC PAVING
- NEW/REPLACED CC
- PROPOSED CONTOUR
- EXISTING CONTOUR
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REVISIONS

BY

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**RUFFINO RESIDENTIAL SUBDIVISION**  
ANDERSON AVENUE, MCKINLEVILLE, CA 95519  
APN: 508-091-039

**PARTIAL GRADING PLAN**

For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973

Date APR 28, '25

Scale AS NOTED

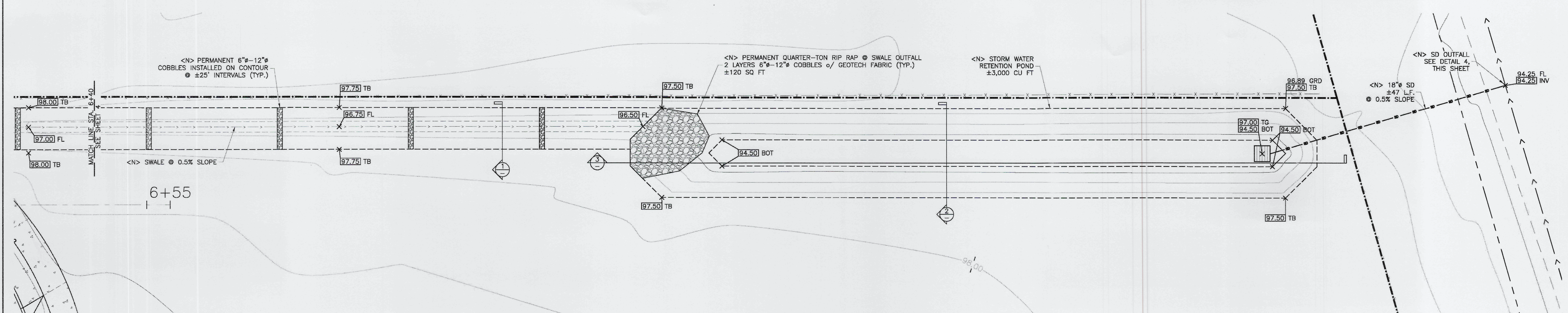
Design ZDJ

Drawn ALW

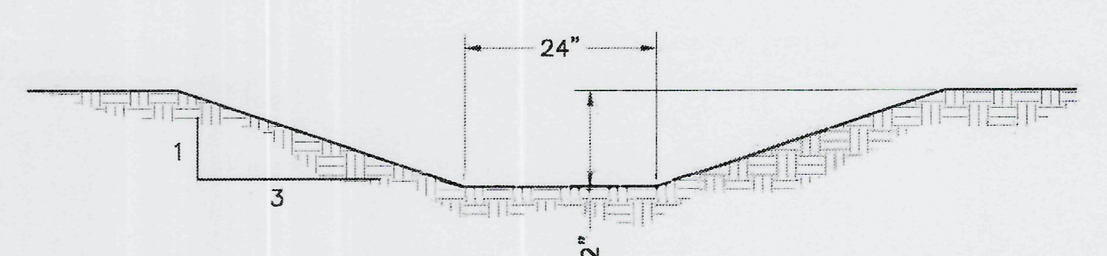
Job RUF2101.1

Sheet 4

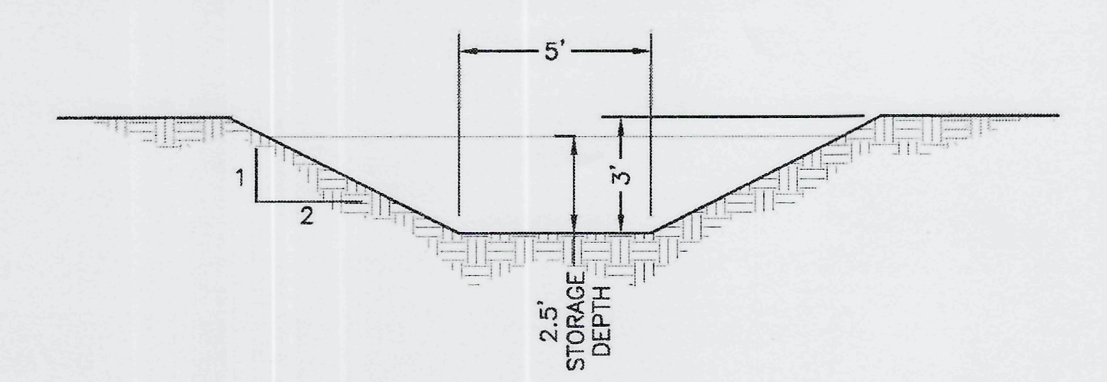




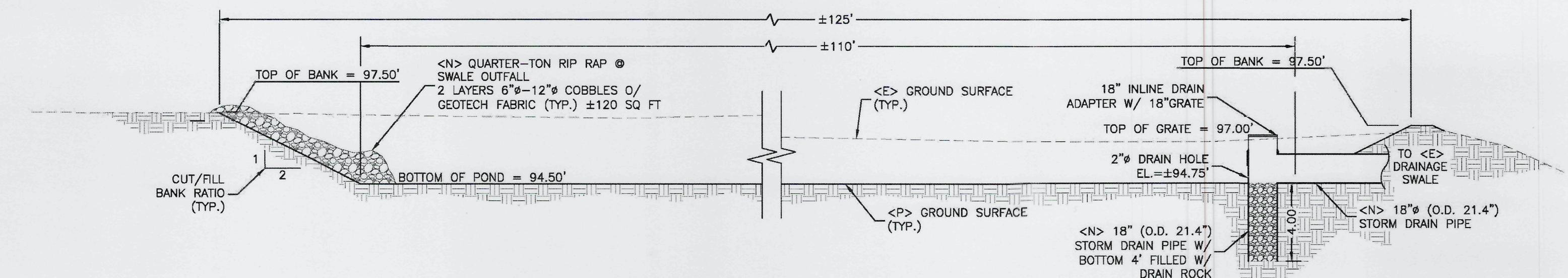
GRADING PLAN STA 6+40 TO HWY 101 R/W  
SCALE: 1"=10'



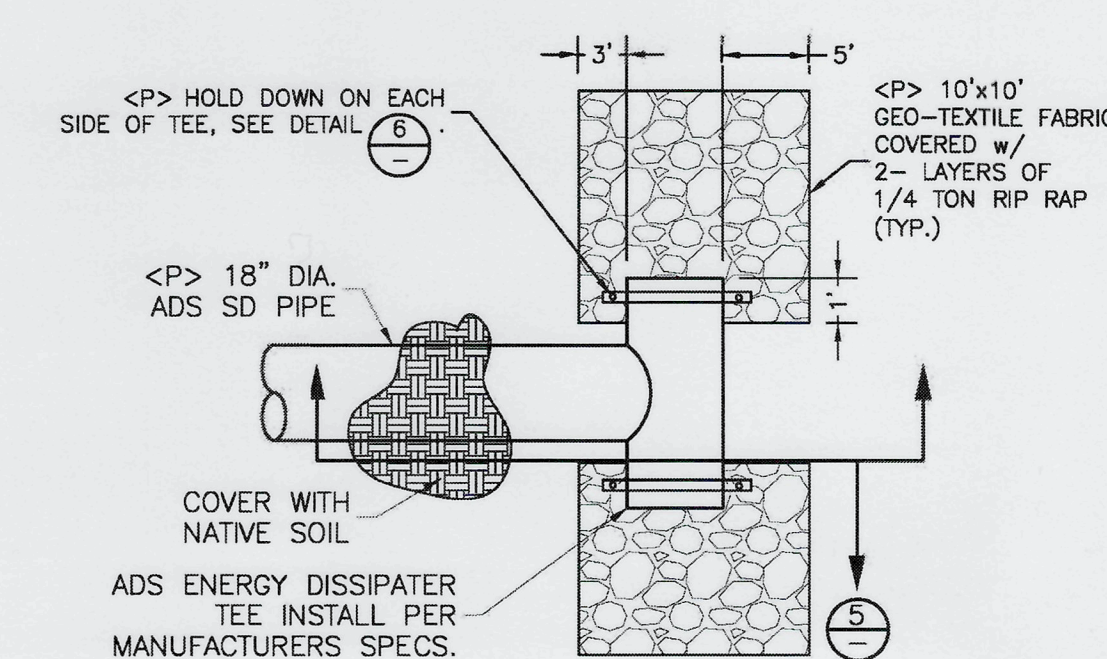
1 TYPICAL SWALE SECTION  
NO SCALE



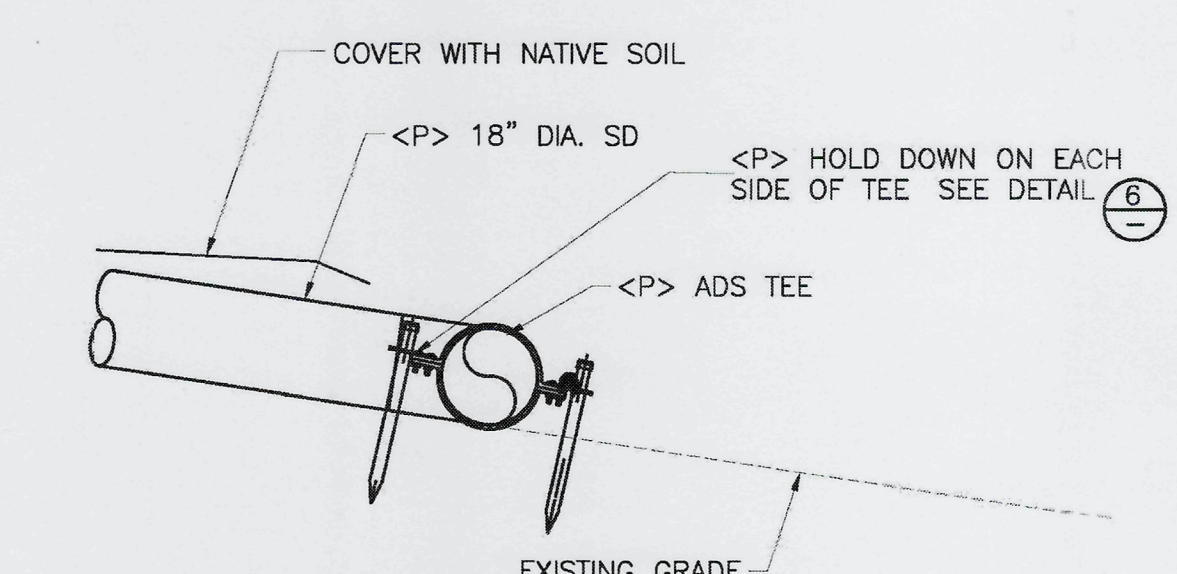
2 TYPICAL POND SECTION  
NO SCALE



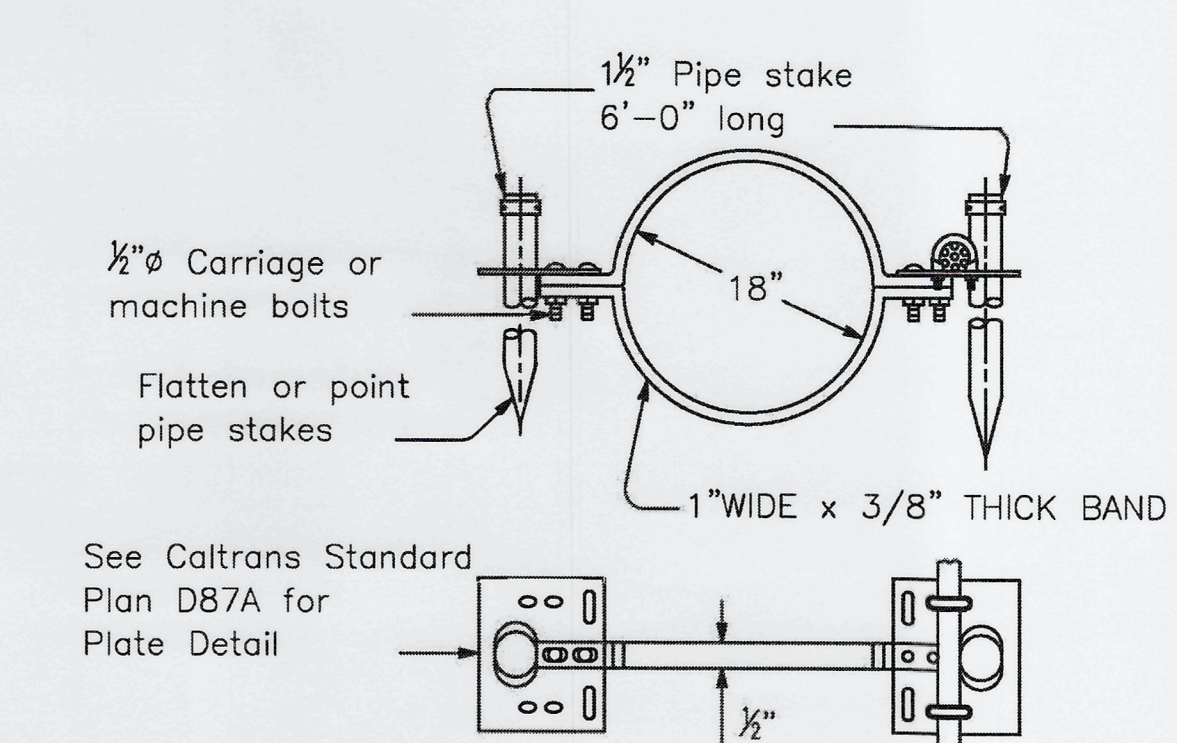
3 TYPICAL RETENTION POND SECTION  
NO SCALE



4 SD OUTFALL DETAIL  
NO SCALE



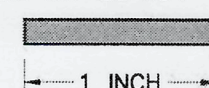
5 ENERGY DISSIPATER DETAIL  
NO SCALE



6 PLASTIC PIPE JOINT RESTRAINER ASSEMBLY  
NO SCALE



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Scale AS NOTED

Design ZDJ

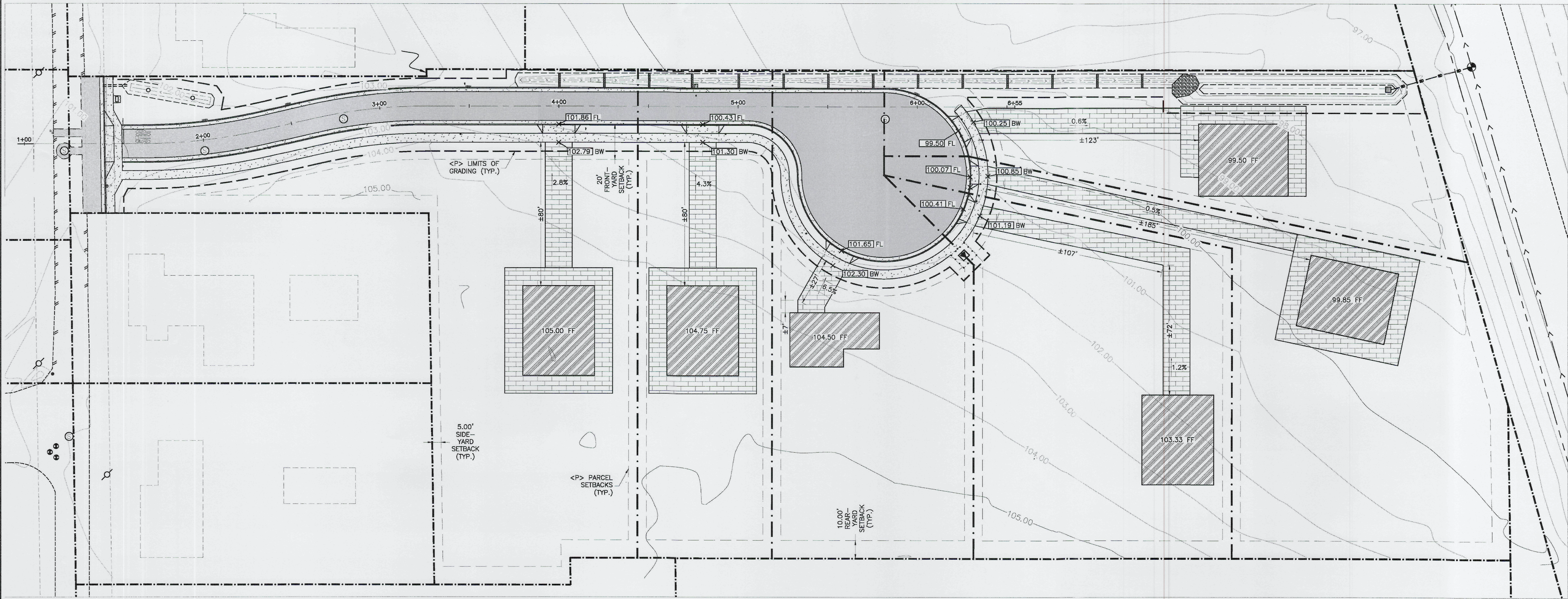
Drawn ALW

Job RUF2101.1

Sheet

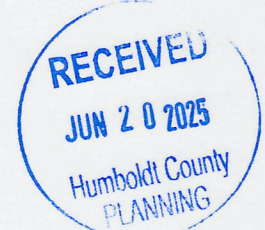
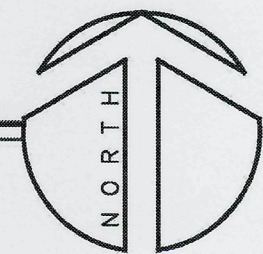
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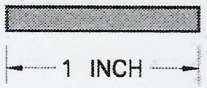


DRIVEWAY & F.F. GRADING PLAN

SCALE: 1"=30'



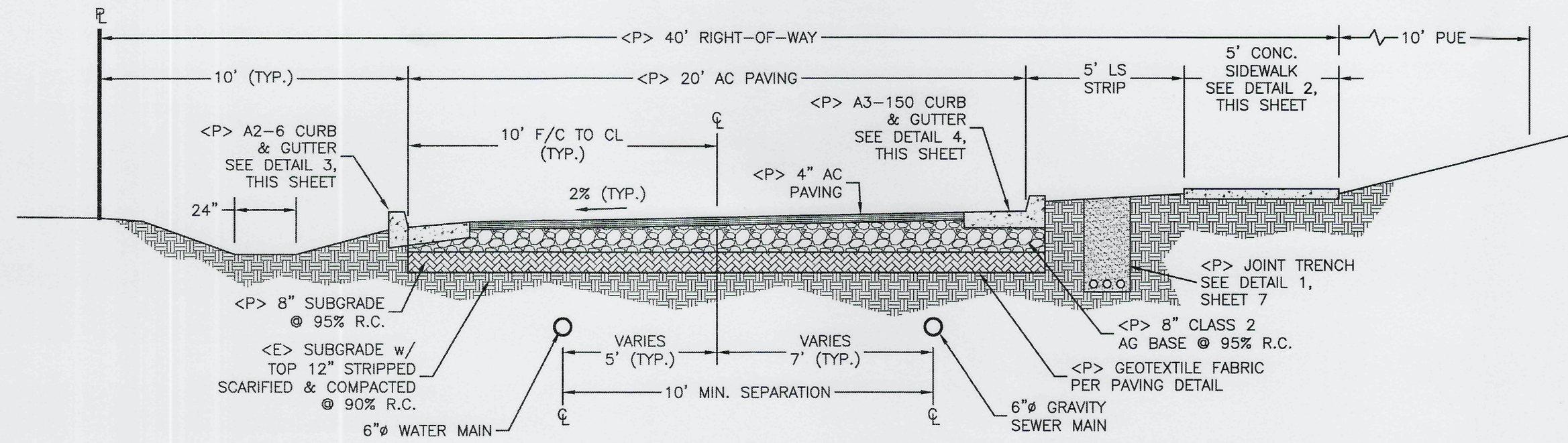
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<b>RUFFINO RESIDENTIAL SUBDIVISION</b> ANDERSON AVENUE, MCKINLEYVILLE, CA 95519 APN: 508-091-039		
<b>DRIVEWAY &amp; F.F. GRADING PLAN</b> For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973		
Date	APR 28, '25	
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Drawn	ALW	
Job	RUF2101.1	
Sheet	5.1	

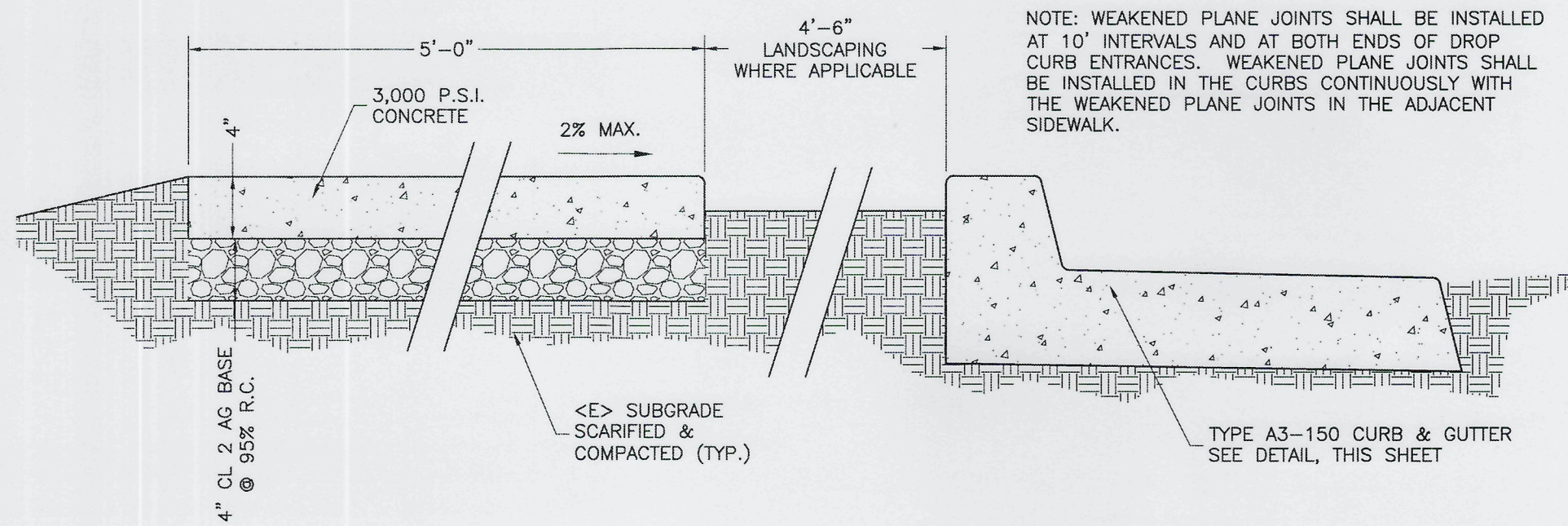




1 TYPICAL ROADWAY SECTION  
NO SCALE

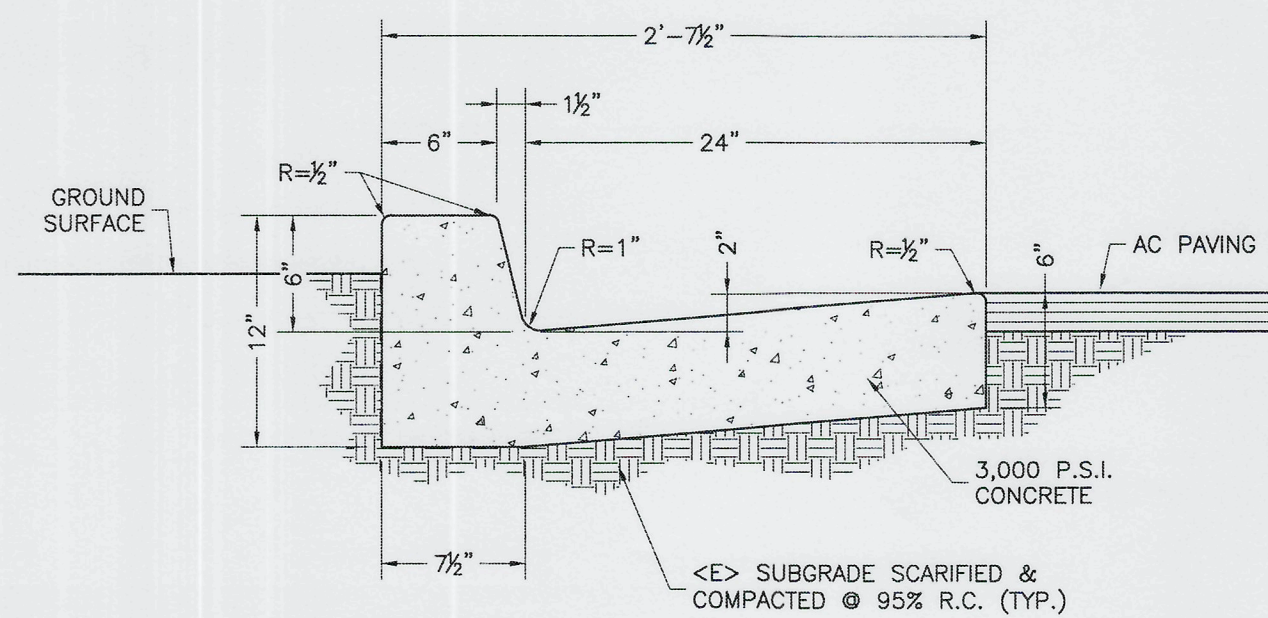
NOTE:  
SEE THIS SHEET FOR TYPICAL  
ROADWAY PAVEMENT SECTION FOR  
ADDITIONAL AC PAVING NOTES

INSTALL NO PARKING SIGNS STA  
0+00 TO STA 5+00



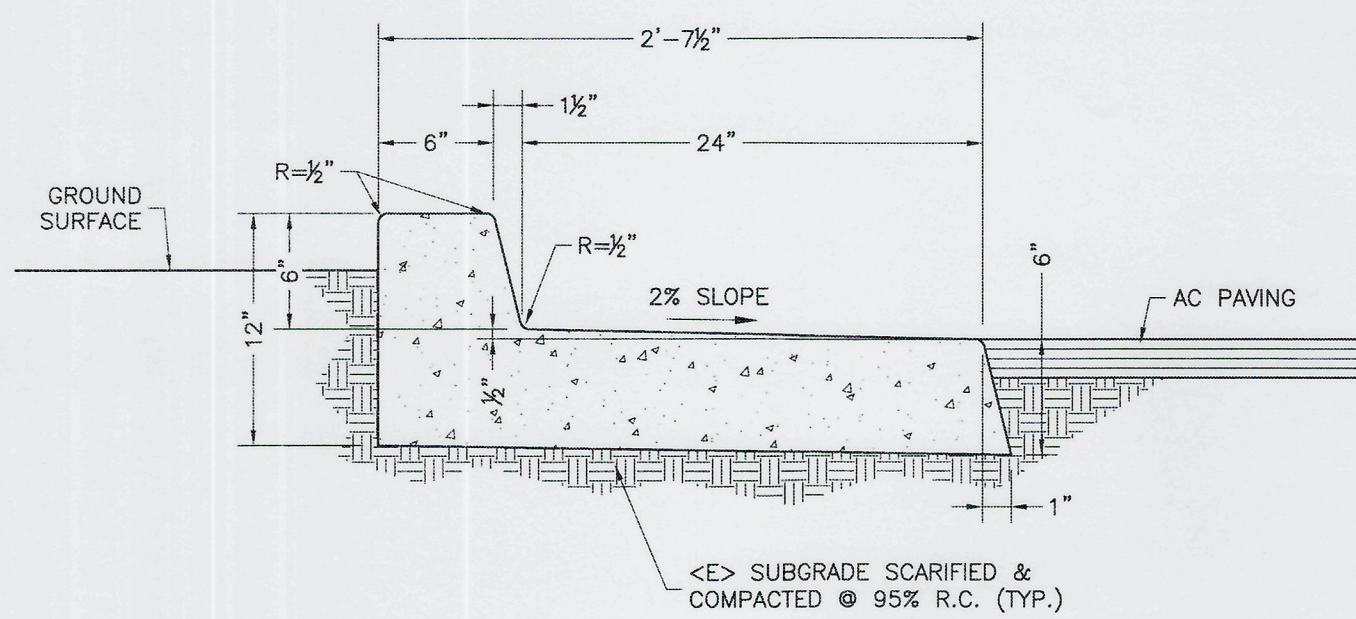
2 TYPICAL SIDEWALK DETAIL  
NO SCALE

NOTE: WEAKENED PLANE JOINTS SHALL BE INSTALLED  
AT 10' INTERVALS AND AT BOTH ENDS OF DROP  
CURB ENTRANCES. WEAKENED PLANE JOINTS SHALL  
BE INSTALLED IN THE CURBS CONTINUOUSLY WITH  
THE WEAKENED PLANE JOINTS IN THE ADJACENT  
SIDEWALK.



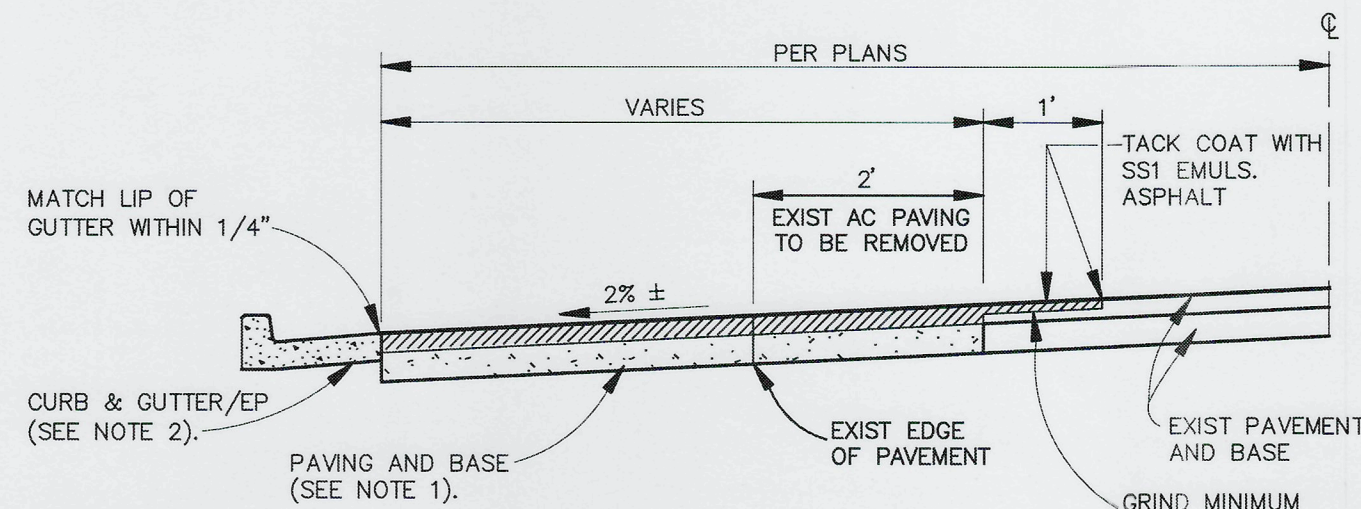
3 TYPE A2-6 CURB & GUTTER DETAIL  
NO SCALE

STA 1+55 TO STA 6+30



4 TYPE A3-150 CURB & GUTTER DETAIL  
NO SCALE

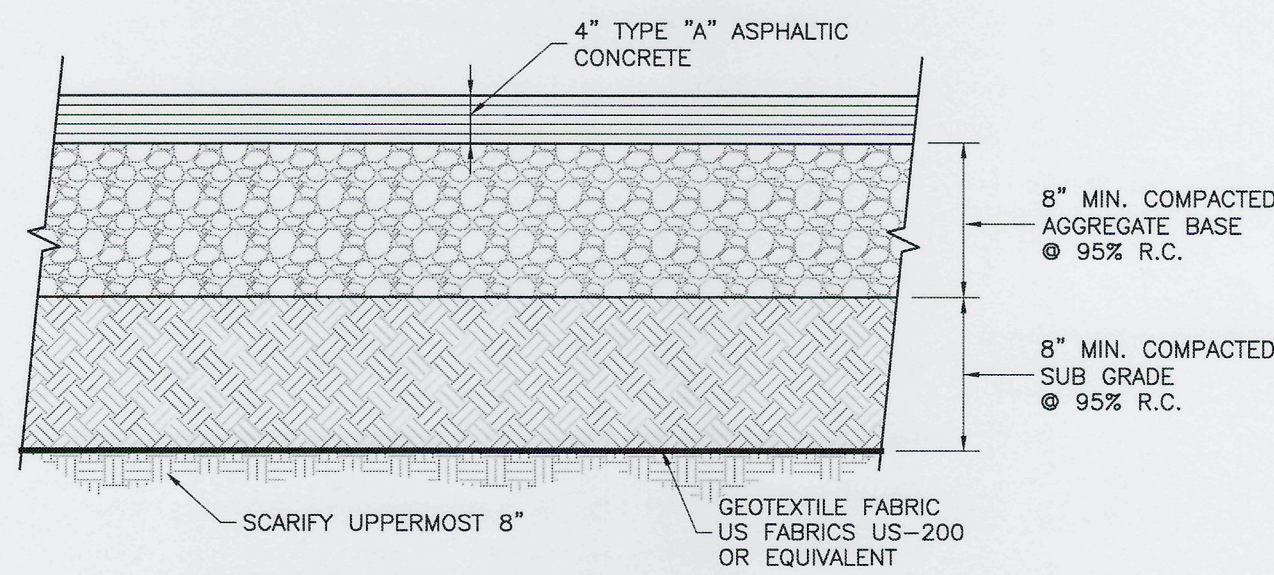
STA 1+55 TO STA 6+30



#### NOTES:

1. MATCH EXISTING PAVING AND BASE THICKNESS. BASE SHALL BE A MINIMUM OF 8" COMPACTED CLASS II AGGREGATE BASE @ 95% R.C. (TYP.), SEE TYPICAL PAVING DETAIL, THIS SHEET. MINIMUM PAVEMENT THICKNESS TO BE 2-1/2" TYPE A ASPHALTIC CONCRETE. GEOTEXTILE FABRIC BELOW BASE SHALL BE US-200 OR APPROVED EQUIVALENT.
2. SEE HUMBOLDT COUNTY ROAD DESIGN MANUAL.
3. WHEN CURB, GUTTER, AND SIDEWALK ARE NOT REQUIRED, REVERT TO HUMBOLDT COUNTY TYPICAL SHOULDER CONSTRUCTION.

5 GRIND & OVERLAY DETAIL  
NO SCALE



#### TYPICAL ROADWAY PAVEMENT SECTION ~ N.T.S.

##### PAVEMENTS

1. THE UPPER 8 INCHES OF SUBGRADE BENEATH AGGREGATE BASE OR SUB-BASE SHOULD BE SCARIFIED 8 INCHES, MOISTURE- CONDITIONED AS NECESSARY AND COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM TEST METHOD D-1557.
2. THE FOLLOWING PAVEMENT SECTIONS SHOULD BE USED:

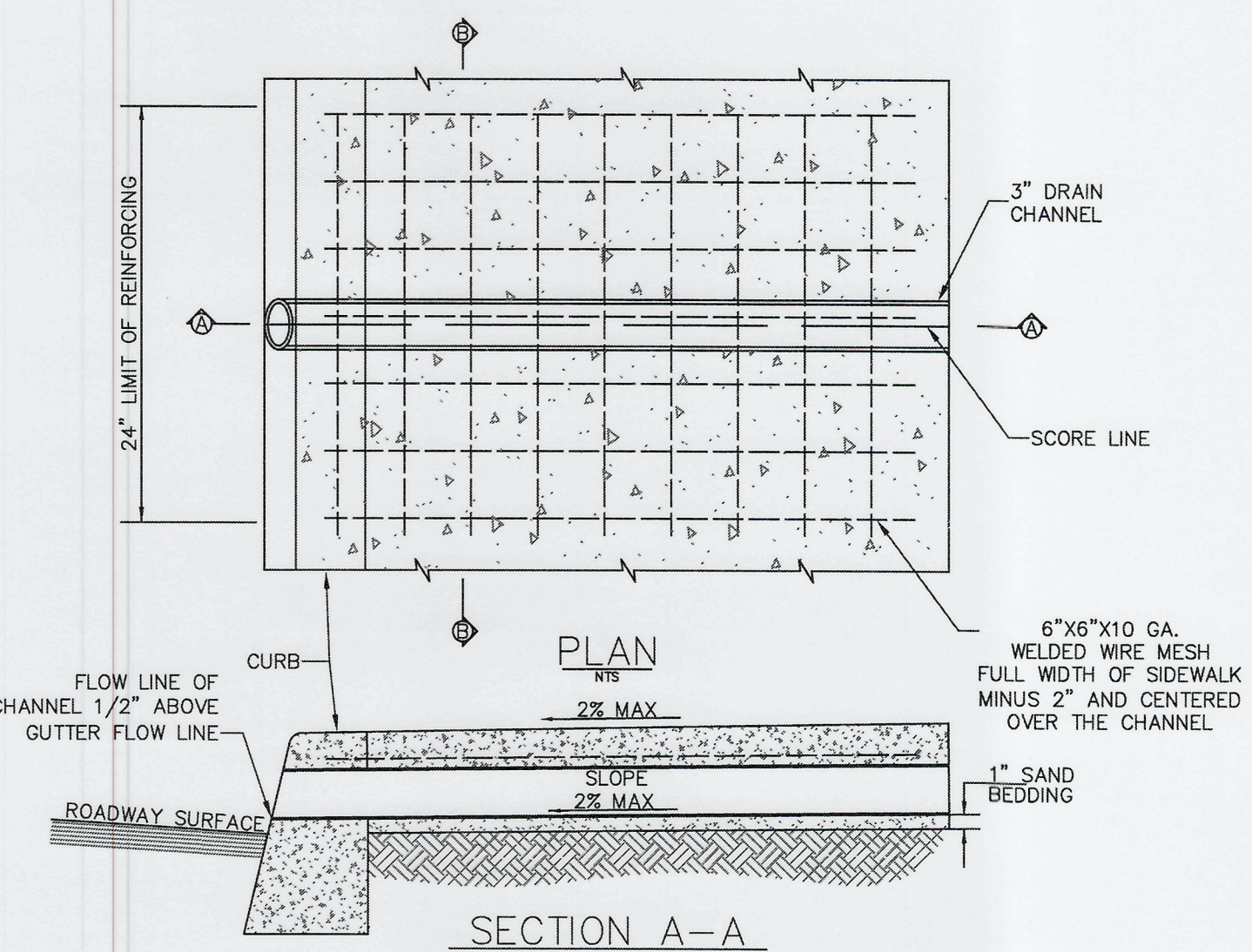
Traffic Index = 6.0 for Roadway Pavement			
ALTERNATIVE	AC Thickness, inches	AB Thickness, inches	Compacted Subgrade, inches
Two-layer	4	8	8

AC	-	ASPHALTIC CONCRETE
AB	-	AGGREGATE BASE COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION (CAL TEST 216)
SUBGRADE	-	SUBGRADE SOILS COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION (ASTM D-1557)

3. PAVED AREAS ARE NOT TO BE USED DURING CONSTRUCTION.
4. PAVEMENT MATERIALS AND CONSTRUCTION METHOD SHOULD CONFORM TO SECTIONS 25, 26 AND 39 OF THE STATE OF CALIFORNIA STANDARD SPECIFICATION REQUIREMENTS.
5. THE ASPHALTIC-CONCRETE SHOULD BE COMPACTED TO AN AVERAGE RELATIVE COMPACTION OF 97 PERCENT, WITH NO SINGLE TEST VALUE BEING BELOW A RELATIVE COMPACTION OF 95 PERCENT BASED ON A 50 BLOW MARSHALL MAXIMUM DENSITY.
6. THE ASPHALT CONCRETE SHOULD COMPLY WITH TYPE "B" ASPHALT CONCRETE AS DESCRIBED IN SECTION 39 OF THE STATE OF CALIFORNIA STANDARD SPECIFICATION REQUIREMENTS. WE RECOMMEND THAT AN ASPHALT CONCRETE MIX DESIGN BE PREPARED AND APPROVED BY THE SOILS CONSULTANT PRIOR TO CONSTRUCTION.

PROJECT CUT/FILL TABLE	
DESCRIPTION	QUANTITY
CUT	715 C.Y.
FILL	187 C.Y.
NET*	528 C.Y.
DISTURBED AREA	1.58 ACRES

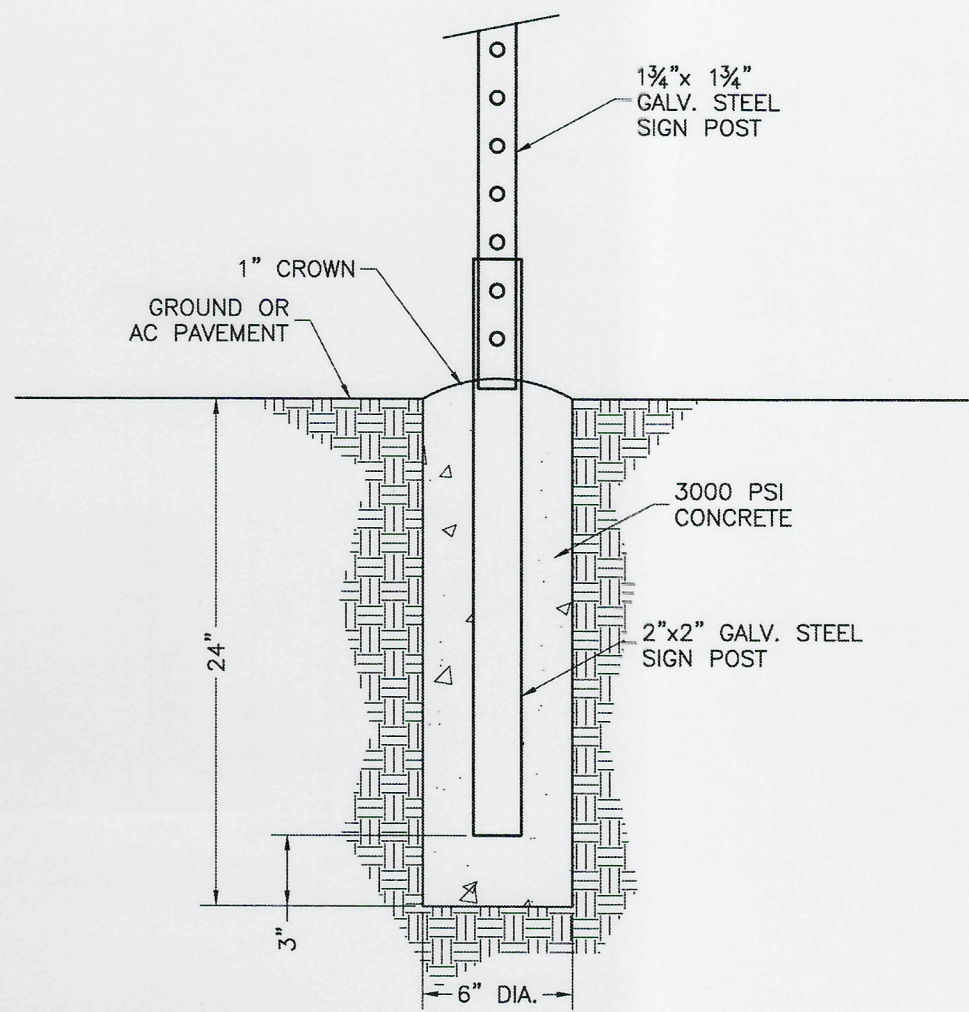
\*EXCESS FILL MATERIAL SHALL BE HAULED TO AN APPROVED DIRT DISPOSAL SITE BY CONTRACTOR. SUITABLE MATERIAL SHALL BE USED TO BERM THE LD POND.



8 UNDER SIDEWALK DRAIN  
NO SCALE

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1 INCH



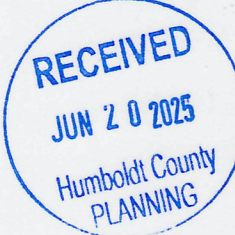
6 SIGN POST DETAIL  
NO SCALE



7 SIGN DETAILS  
NO SCALE

#### NOTES:

1. SIGNS R1-1, R26 (CA), R30E (CA) ARE PER THE CA MUTCD. THE "NOT A COUNTY MAINTAINED ROAD" SIGN IS TO BE A MINIMUM 2' SQUARE WITH 2" BLACK LETTERS ON A YELLOW BACKGROUND.
2. NO PARKING SIGNS ARE TO BE SPACED PER CA MUTCD SECTION 2A.13, WHICH STATES A MINIMUM SPECIFIC RATIO OF 1 INCH OF LETTER HEIGHT PER 30 FEET OF LEGIBILITY DISTANCE SHOULD BE USED. USING R30E WITH A SYMBOL SIZE OF 9-INCHES, NO PARKING SIGNS SHOULD BE SPACED AT A MAXIMUM OF 270' APART.



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Phone (707) 725-6926

RUFFINO RESIDENTIAL SUBDIVISION

ANDERSON AVENUE, MCKINLEVILLE, CA 95519

APN: 508-081-039

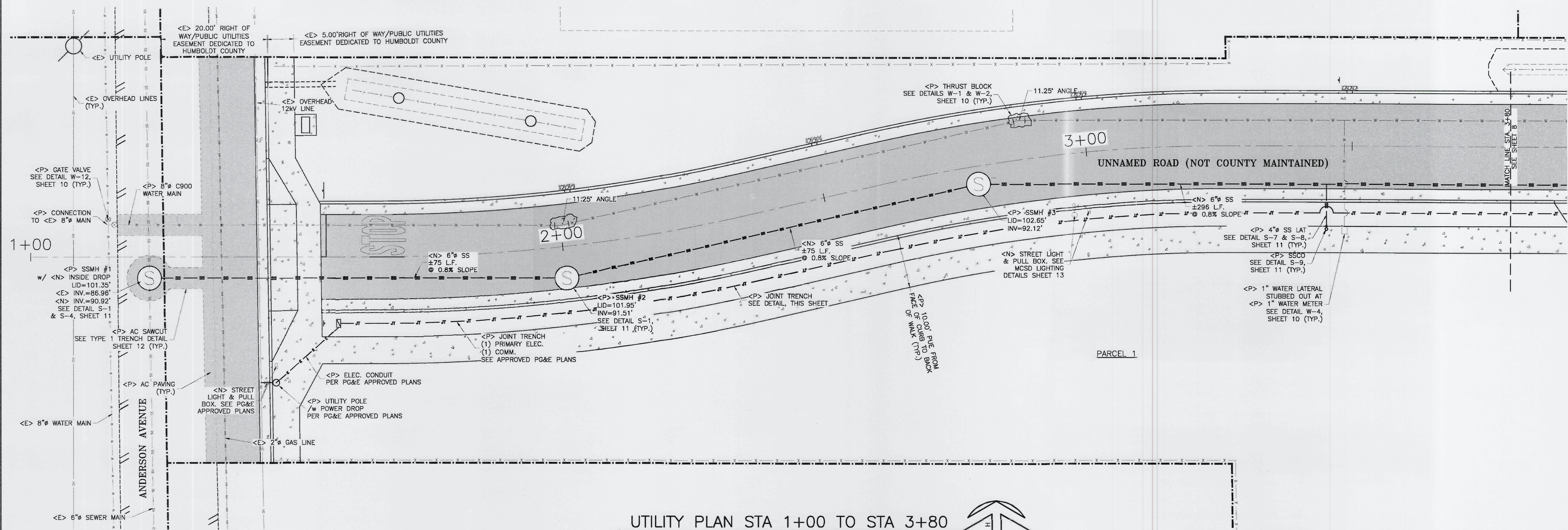
CONSTRUCTION DETAILS

For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973

Date APR 28, '25  
Scale AS NOTED  
Design ZDJ  
Drawn ALW  
Job RUF2101.1  
Sheet

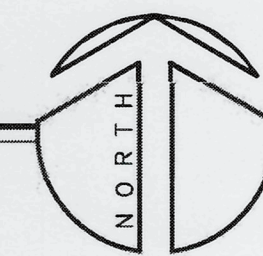
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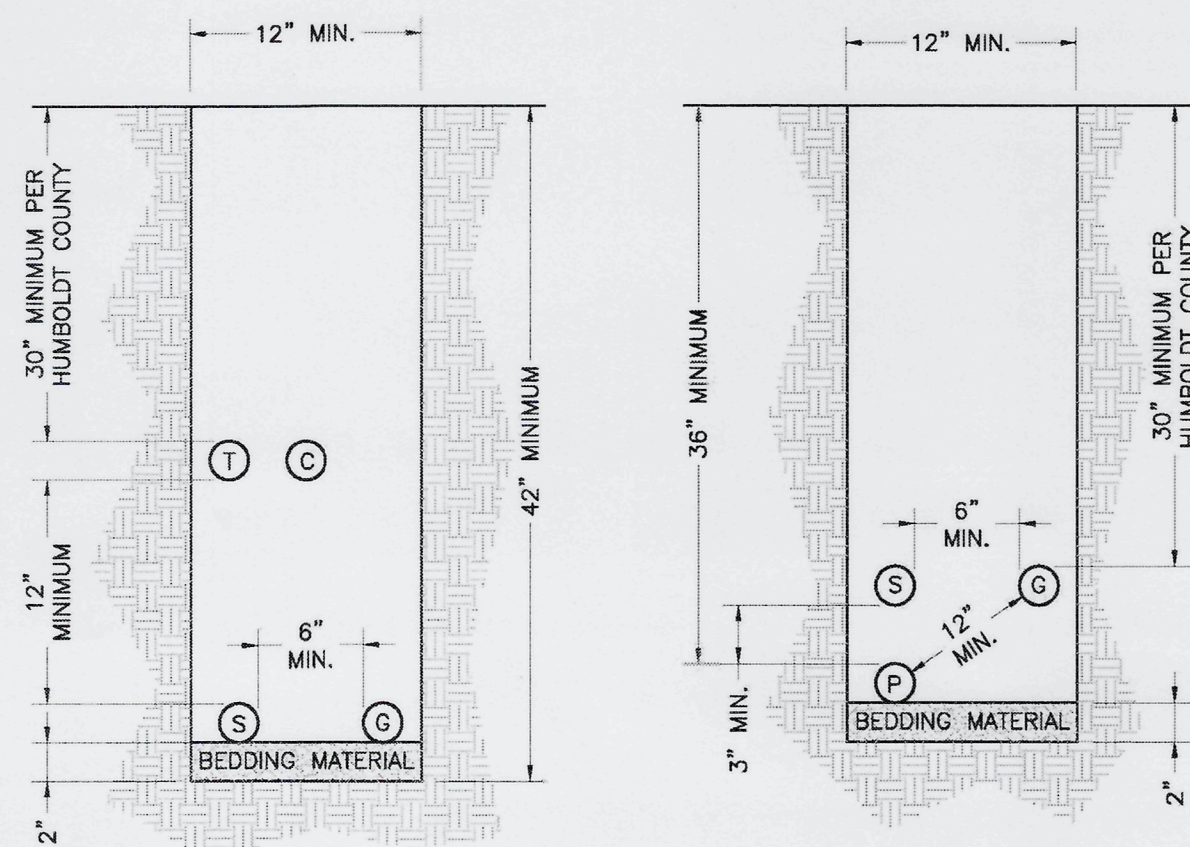


UTILITY PLAN STA 1+00 TO STA 3+80

SCALE: 1"=10'



T = TELEPHONE  
C = CABLE/TV  
G = GAS  
P = ELECTRIC PRIMARY  
S = ELECTRIC SECONDARY



SEE PG&E GREENBOOK FOR JOINT TRENCH REQUIREMENTS

TYPICAL JOINT TRENCH DETAIL

NO SCALE

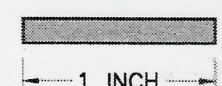
UTILITY NOTES

- EXISTING UTILITY SIZES AND LOCATIONS ARE APPROXIMATE. CONTRACTOR TO CONFIRM.
- ELECTRICAL AND GAS UTILITY LOCATIONS AND SIZES ARE SCHEMATIC ONLY. ALL ELECTRICAL UTILITIES SHALL BE INSTALLED PER APPROVED PG&E PLANS.
- PG&E UTILITIES SHALL BE INSTALLED PER REQUIREMENTS AS SET FORTH IN THE PG&E GREENBOOK.
- ALL WATER MAINS TO BE DISINFECTED PER MCKINLEYVILLE COMMUNITY SERVICES DISTRICT DIRECTION PRIOR TO CONNECTION TO CITY SERVICES.
- ALL SANITARY SEWER PIPE (LATERALS AND MAINS) SHALL BE POLYVINYL CHLORIDE (PVC) SDR35
- MCSO STAFF SHALL BE NOTIFIED PRIOR TO PERFORMING TIE-IN TO EXISTING WATER MAIN IN ANDERSON ROAD, AND MCSO STAFF SHALL BE PRESENT WHILE PERFORMING THE TIE-IN.
- CONTRACTOR TO PROVIDE MCSO WITH 24"x36" PROPOSED AS-BUILDS DRAWINGS POST CONSTRUCTION.
- SANITARY SEWER MANHOLES ARE TO BE INSTALLED WITHOUT LADDERS PER MCSO REQUEST.

UTILITY LEGEND

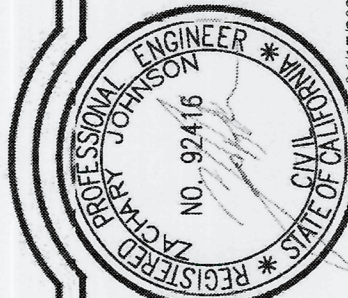
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- SANITARY SEWER CLEANOUT
- WATER METER
- WATER VALVE

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REVISIONS	BY



**WHITCHURCH ENGINEERING, INC.**  
610 9th Street Fortuna, California 95540  
Phone (707) 725-6926

RUFFINO RESIDENTIAL SUBDIVISION

ANDERSON AVENUE, MCKINLEYVILLE, CA 95519 APN: 508-091-039

PARTIAL UTILITY PLAN

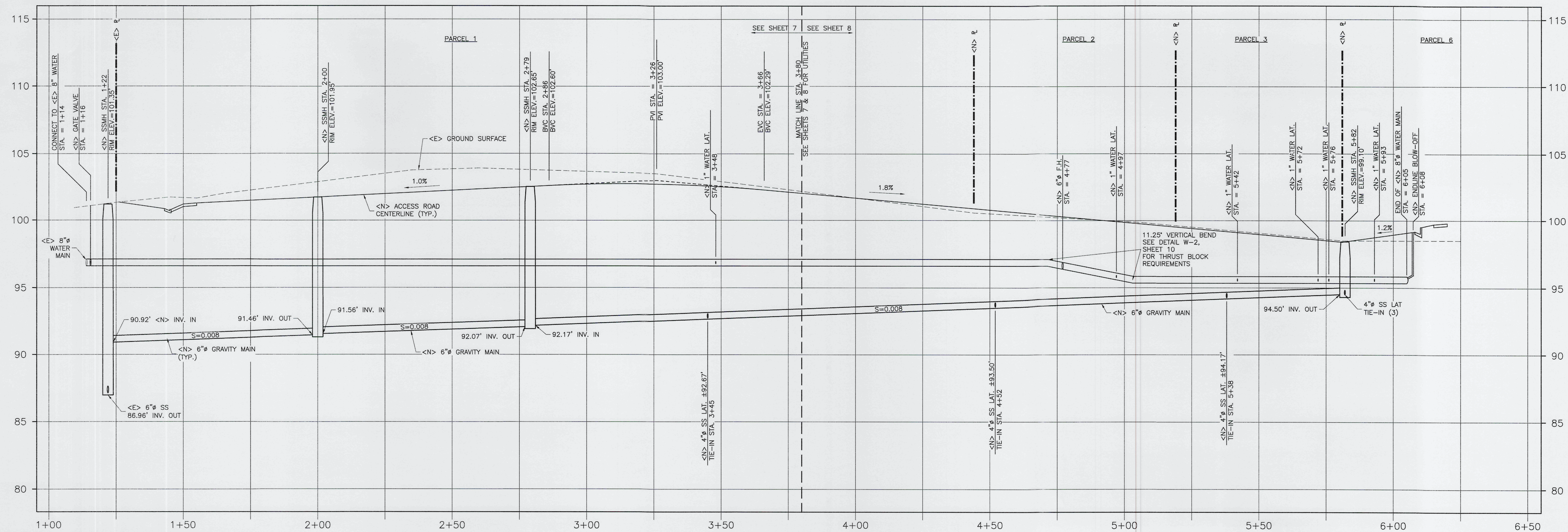
For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973

Date	APR 28, '25
Scale	AS NOTED
Design	ZDJ
Drawn	ALW
Job	RUF2101.1
Sheet	7



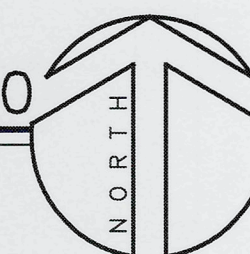
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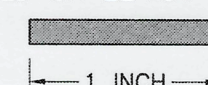
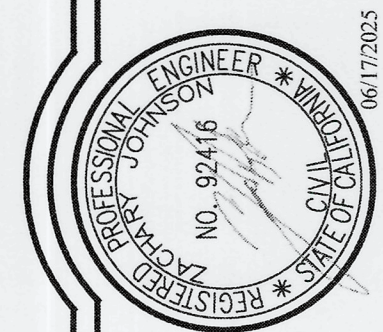


PROFILE STA. 1+00 TO STA. 6+50

SCALE: 1"=20' HORIZ.  
1"=4' VERT.



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[illegible]

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**WHITTAKER ENGINE**  
610 9th Street Fortuna, California 95540  
Phone (707) 725-6926

RUFFINO RESIDENTIAL SUBDIVISION

ANDERSON AVENUE, MCKINLEYVILLE, CA 95519  
 508-991-0399  
 508-991-0399

UTILITY/ROADWAY PROFILE

For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973

Construction.dwg 6/16/2025

Date APR 28, '25

Scale AS NOTED

Design	ZDJ
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Drawn	ALW
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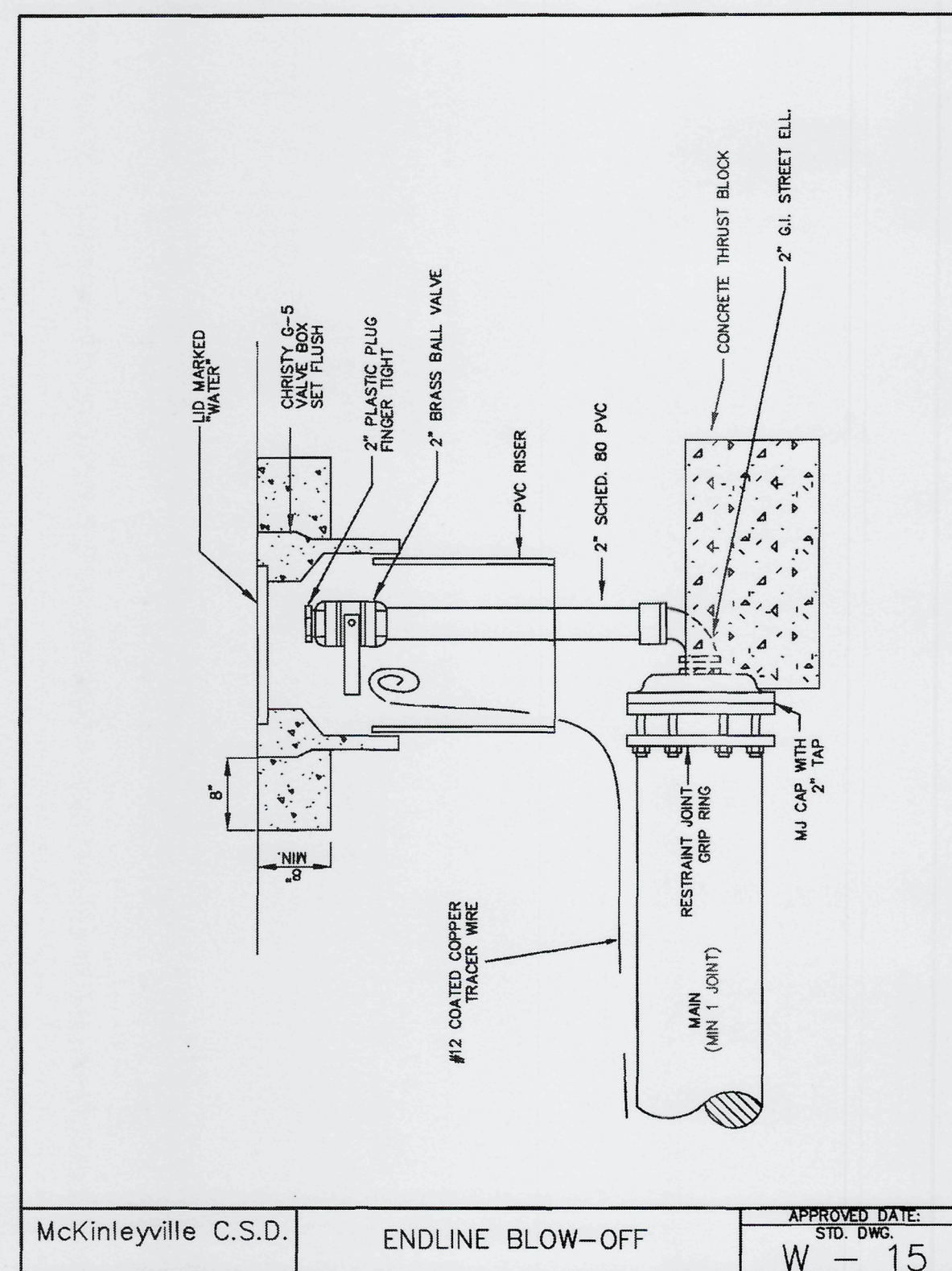
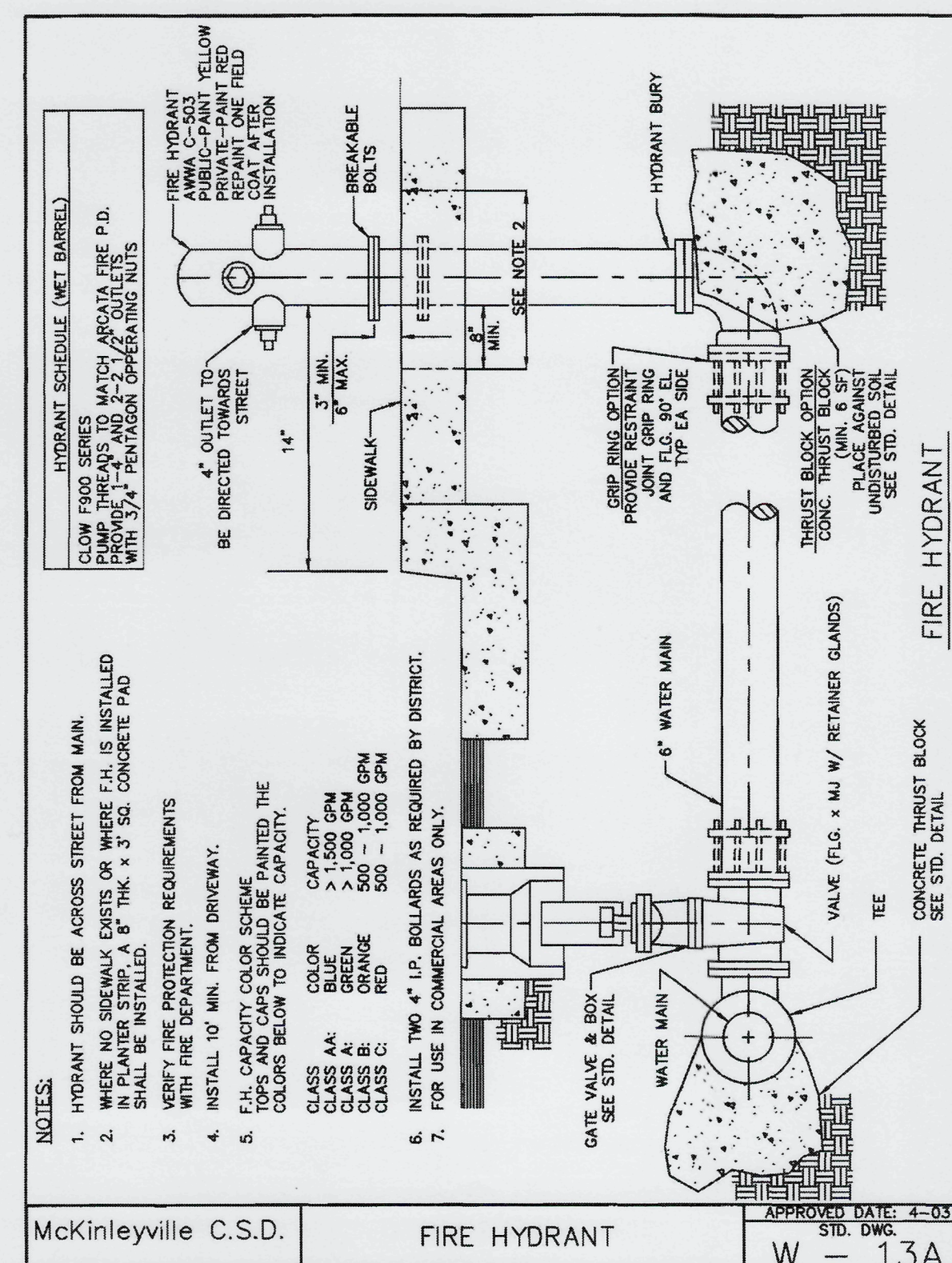
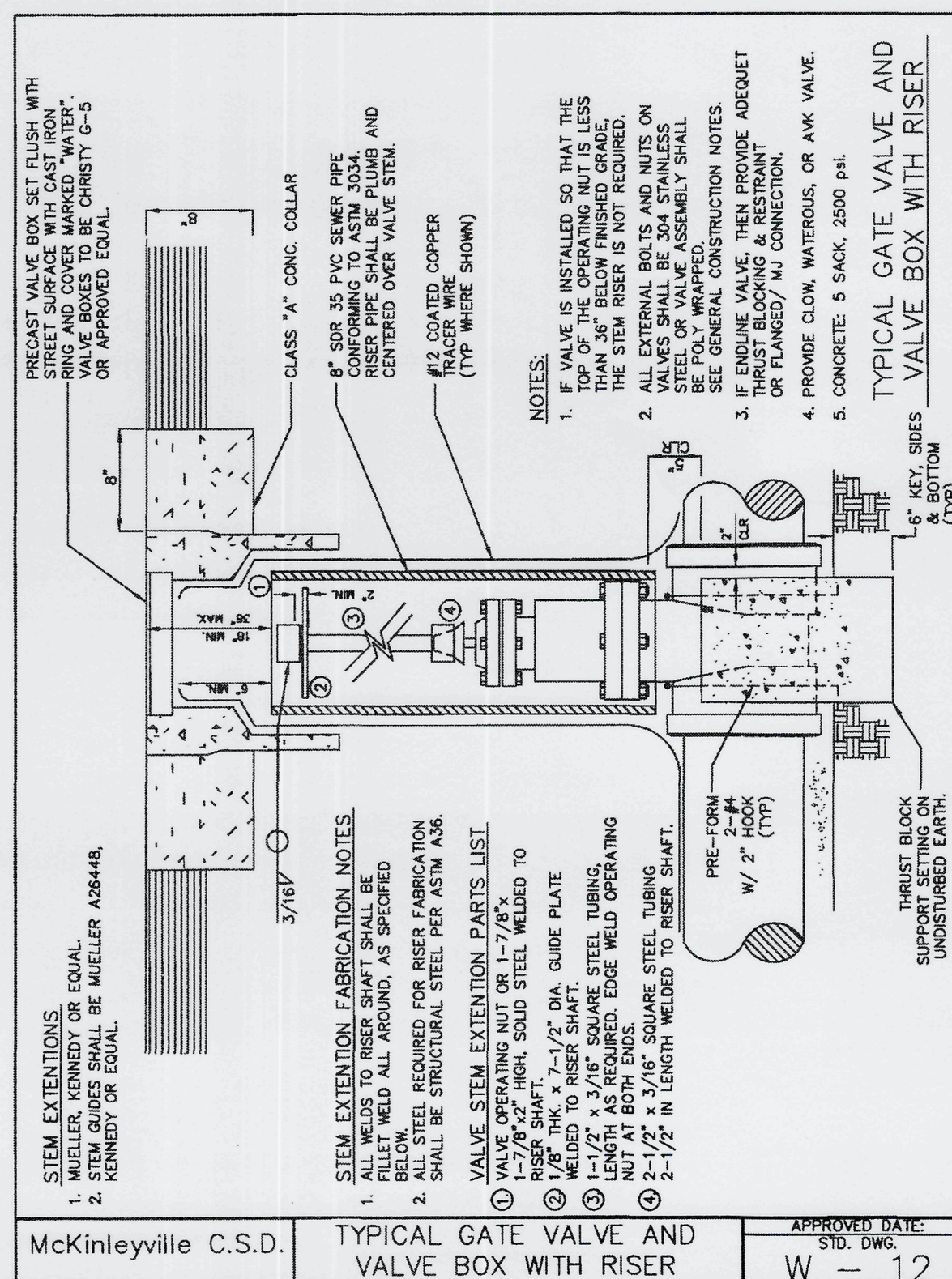
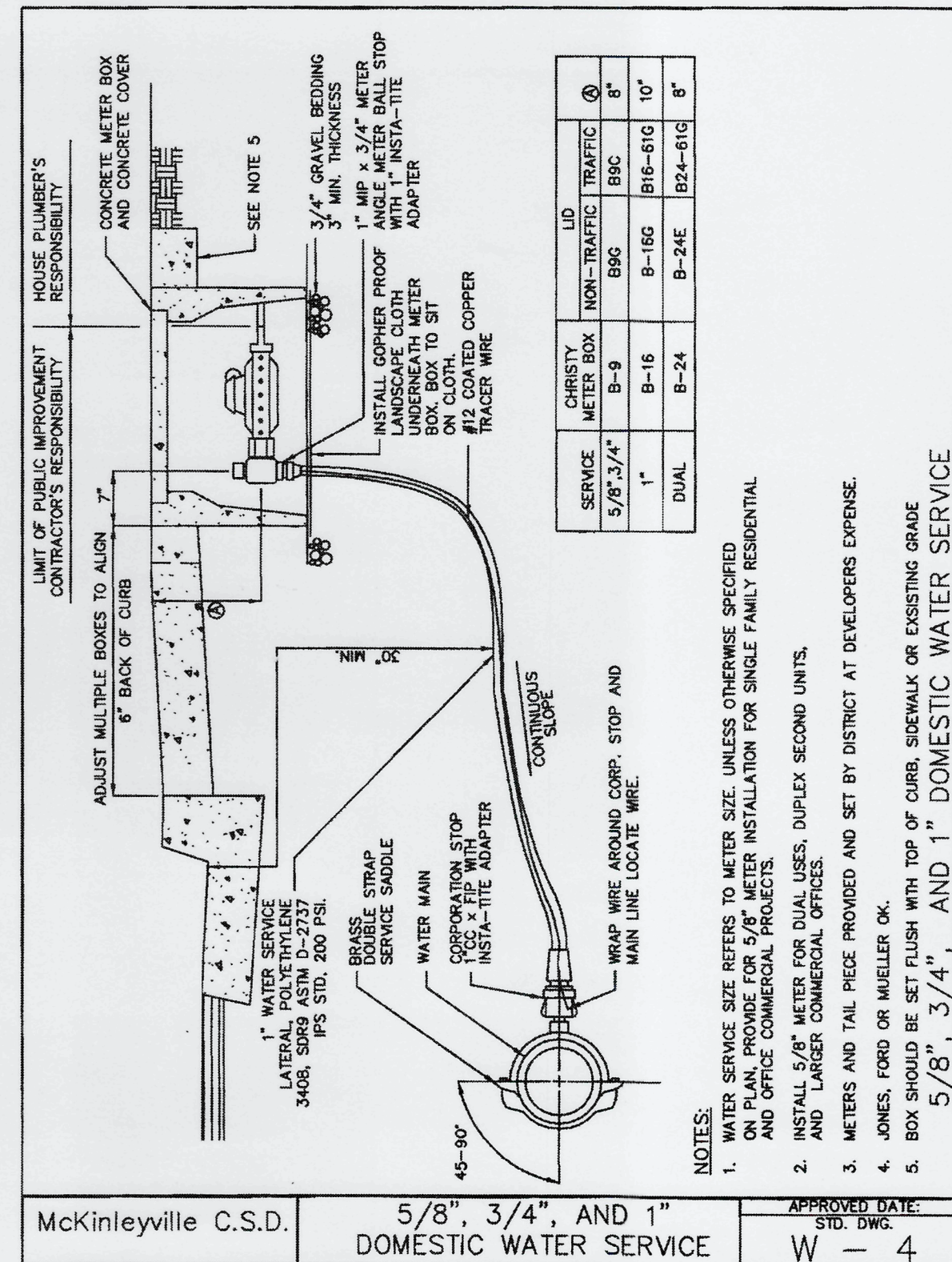
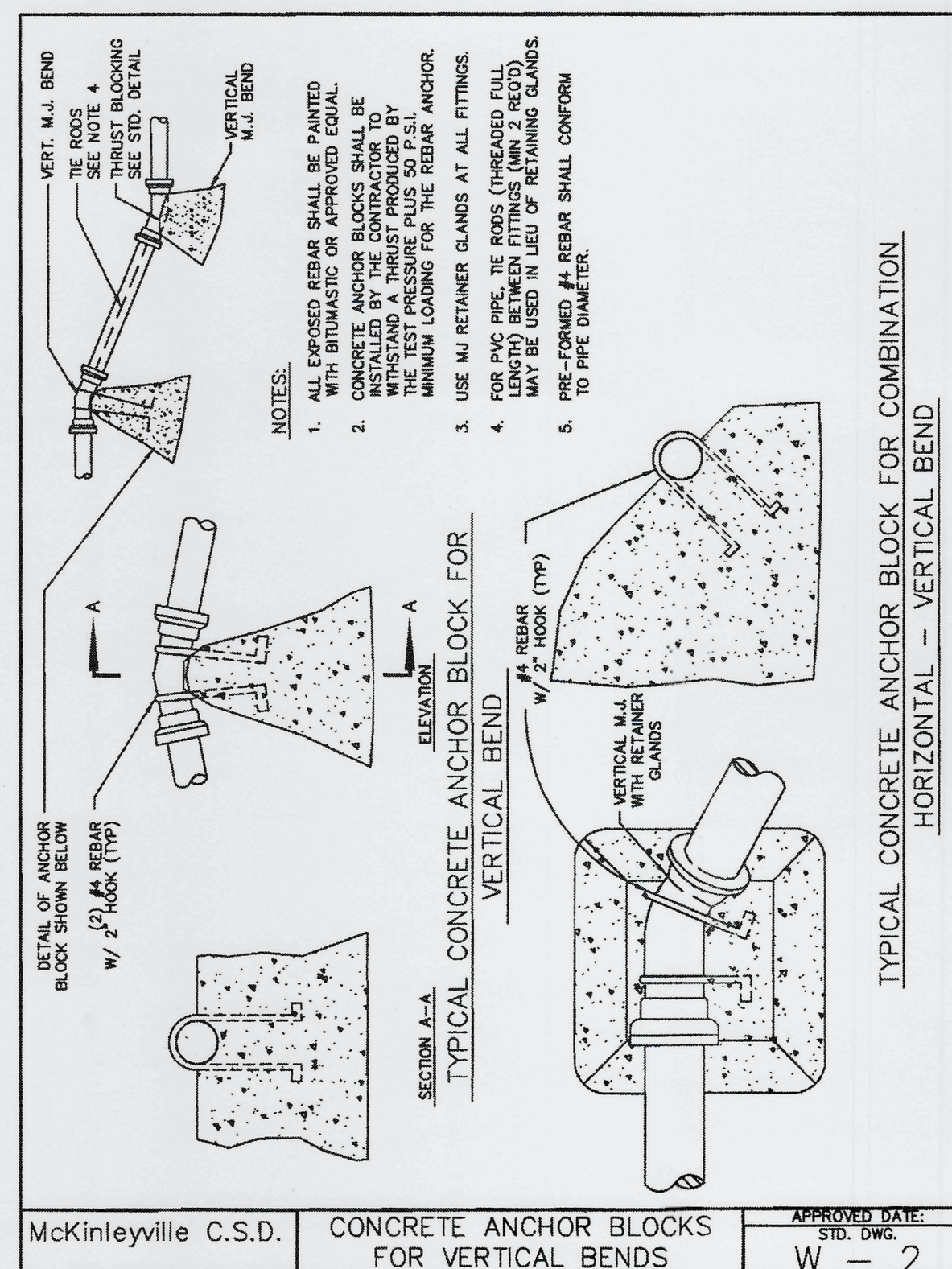
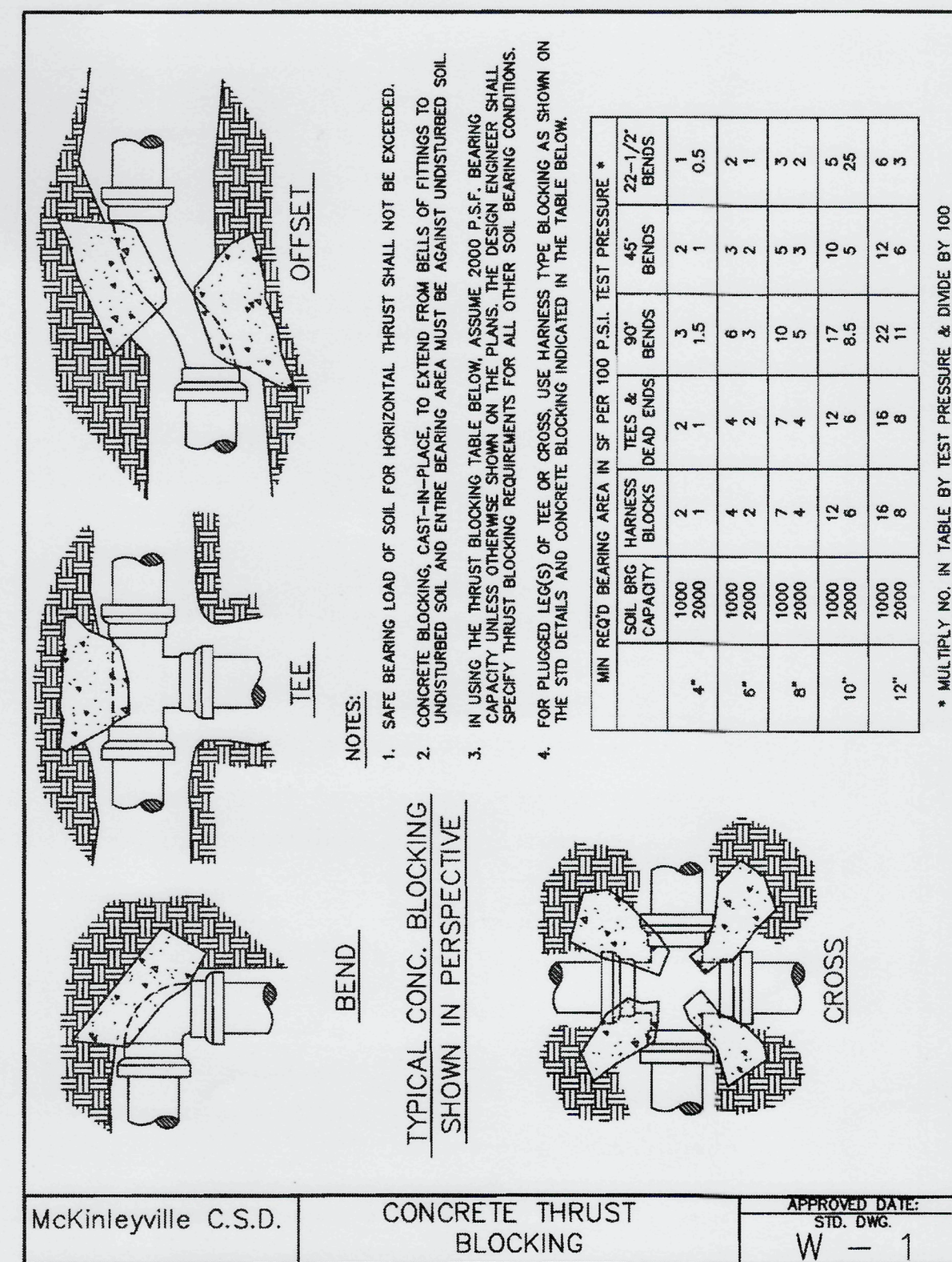
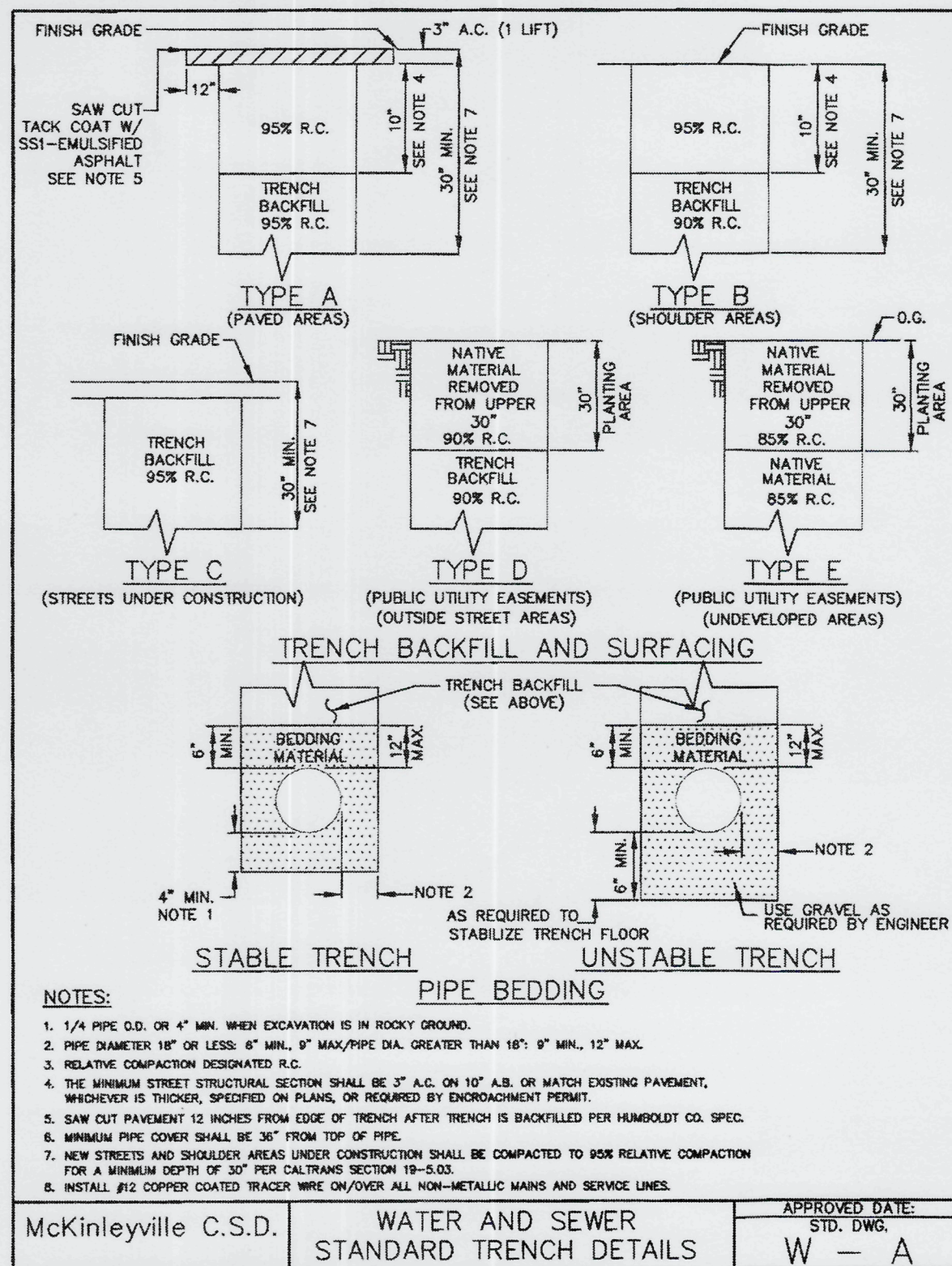
Job	RUF2101.1
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Sheet


Q

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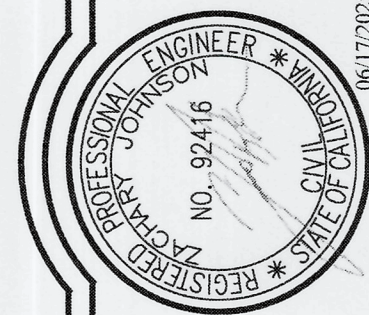




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1 INCH



**WHITCHURCH ENGINEERING, INC.**

610 9th Street Fortuna, California 95540  
Phone (707) 725-6926

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RUFFINO RESIDENTIAL SUBDIVISION

ANDERSON AVENUE, MCKINLEYVILLE, CA 95519  
APN: 508-091-039

APN: 508-091-039

## STANDARD DETAILS

For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973

Date	APR 28, '25
Scale	AS NOTED
Design	ZDJ
Drawn	ALW
Job	RUF2101.1
Sheet	

Scale	AS NOTED
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Design	ZD
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Drawn	ALW
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Job	RUE2101.1
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Shee

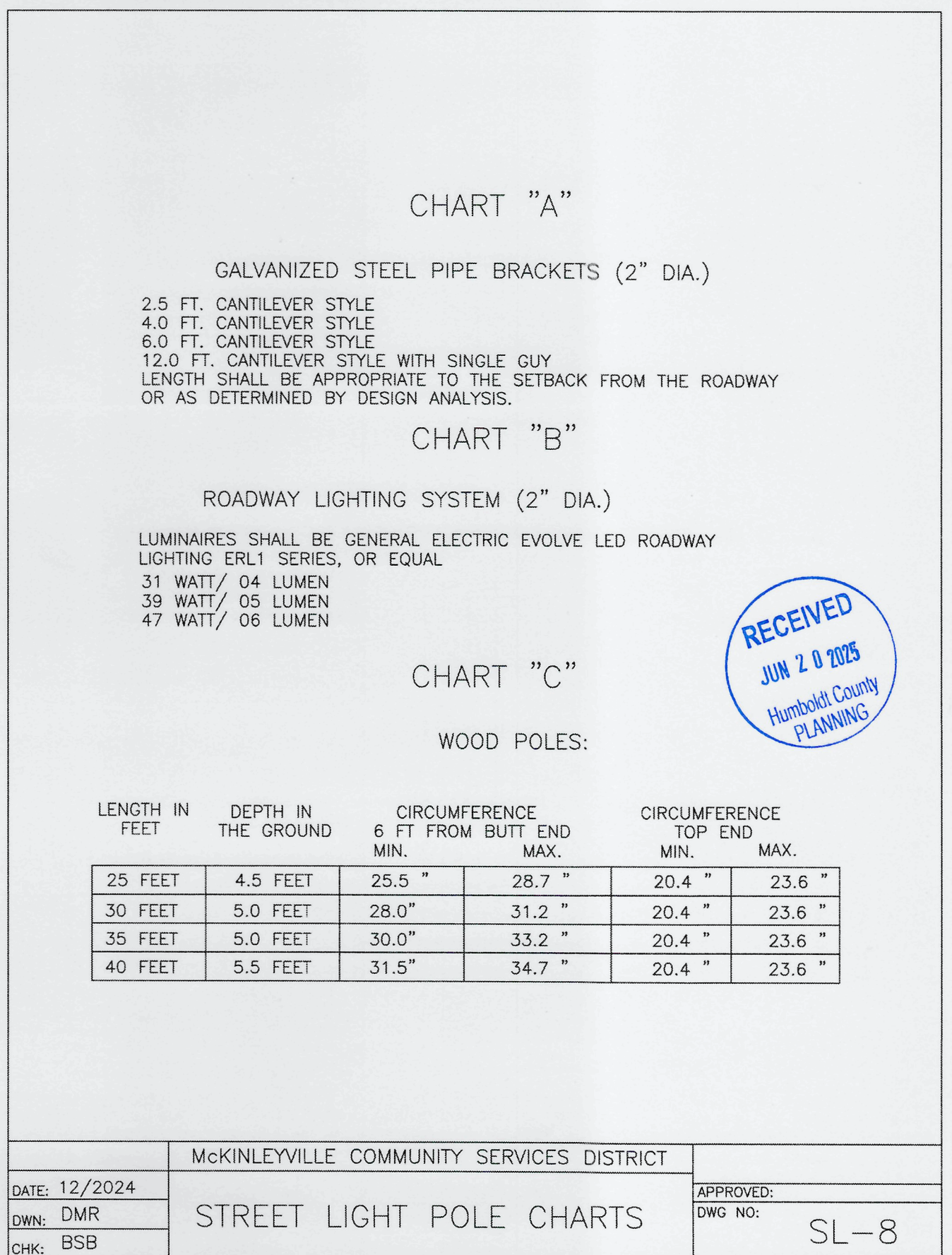
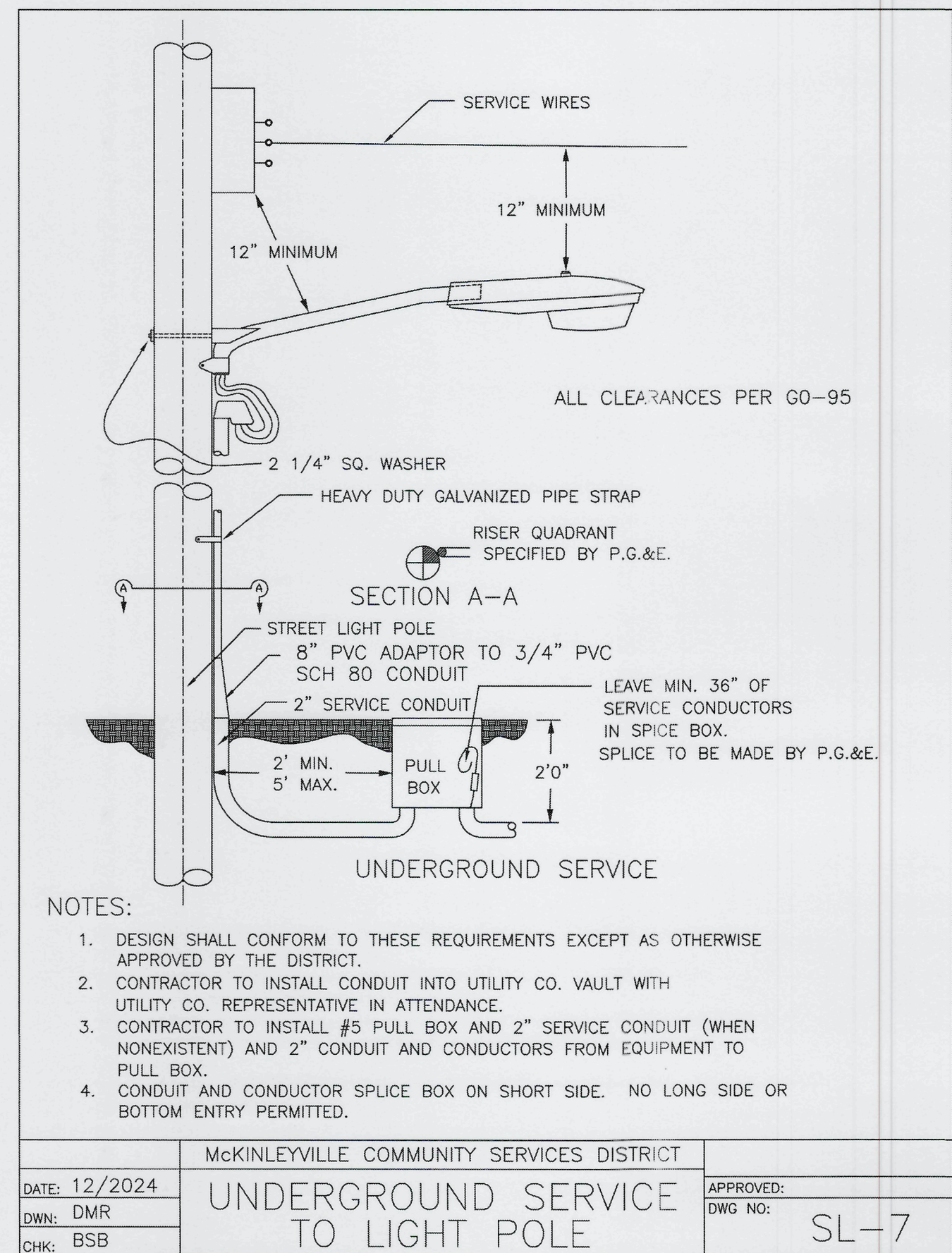
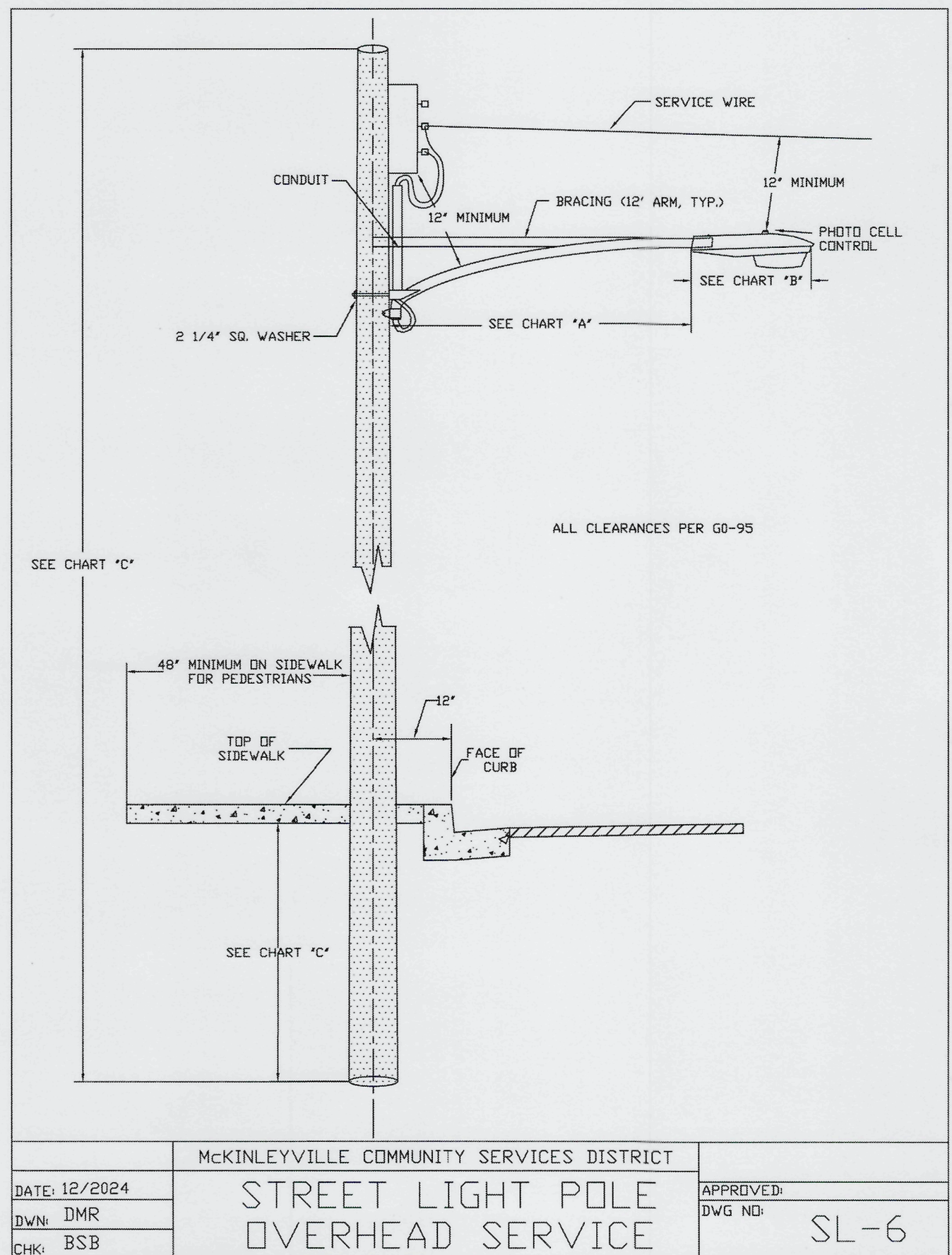
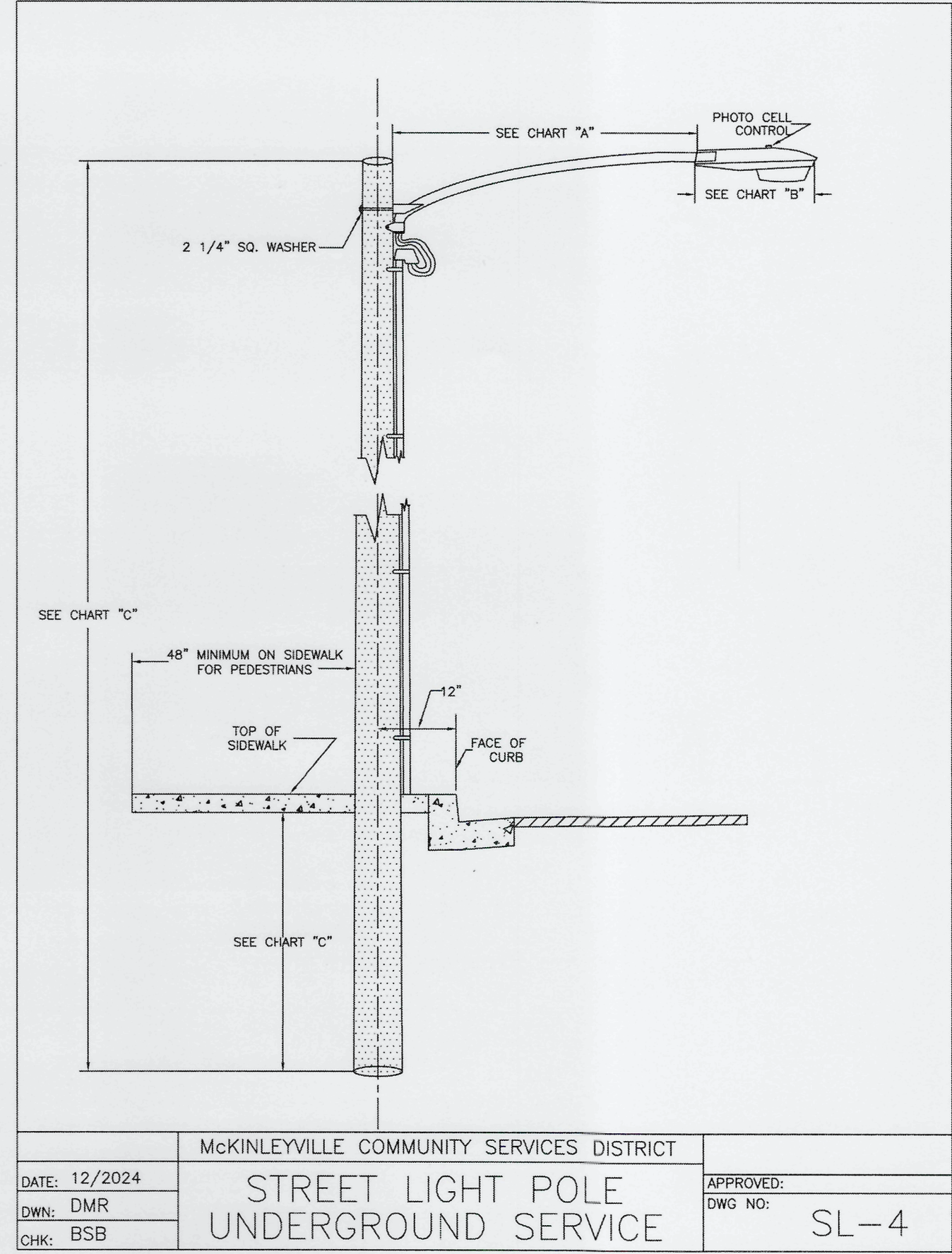
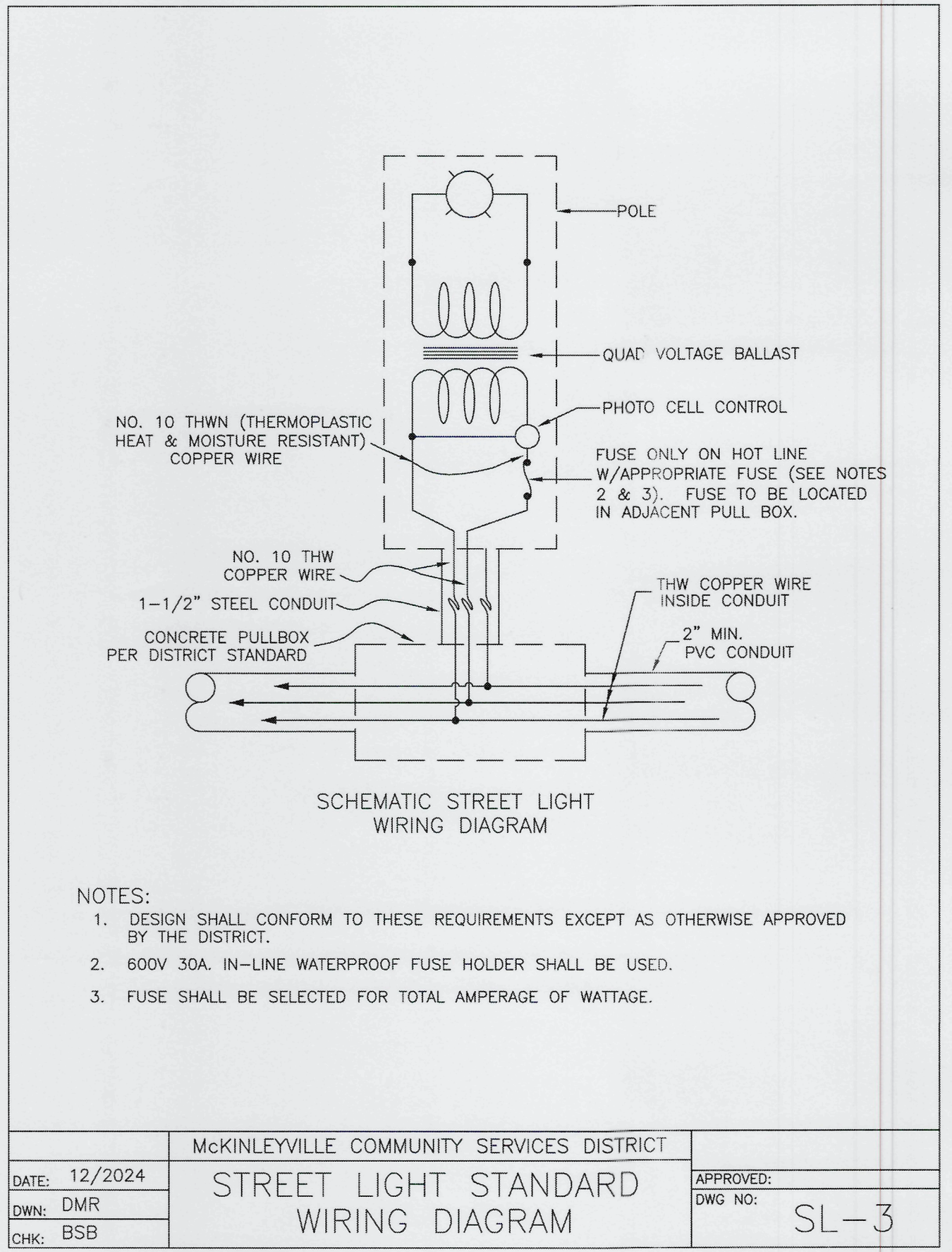
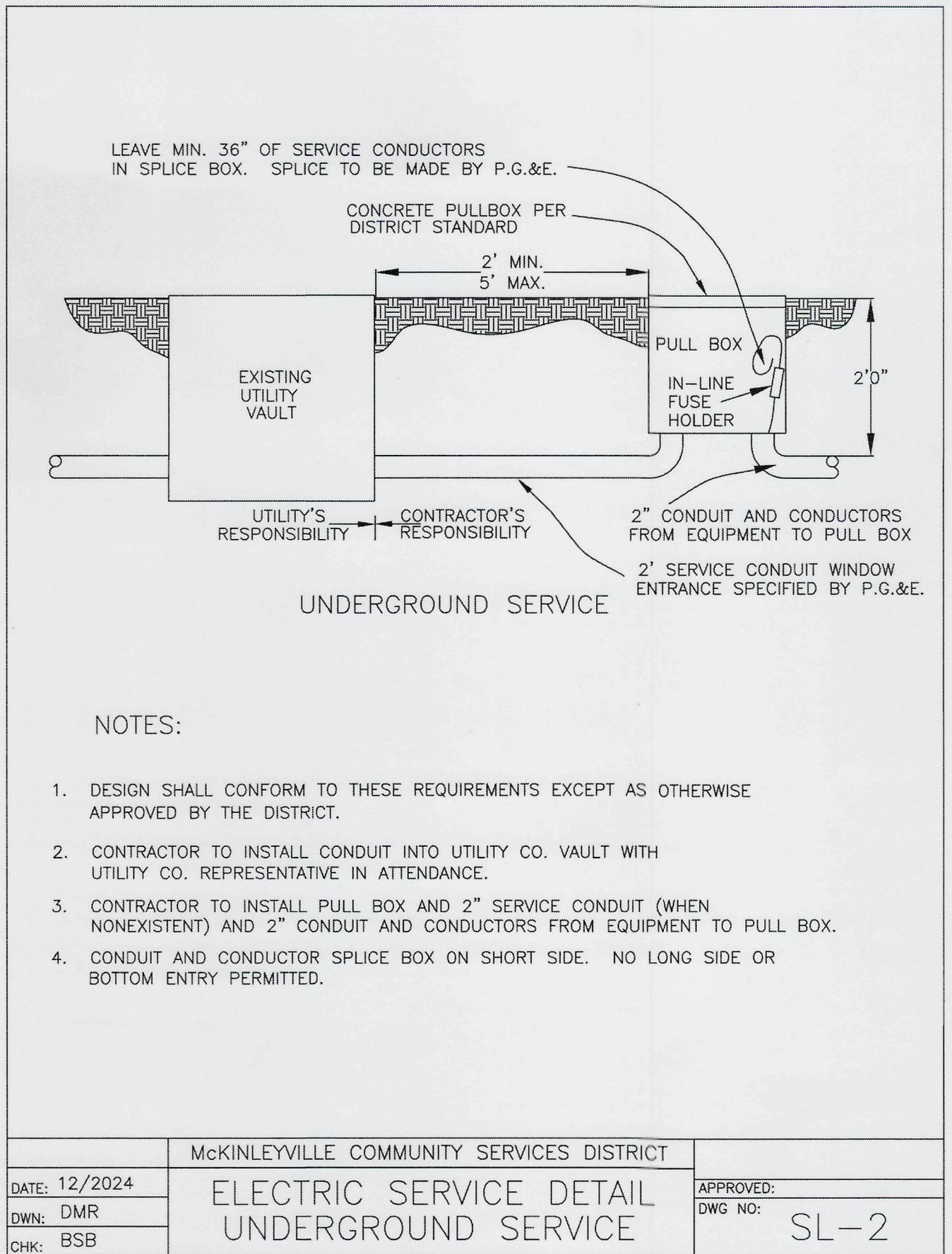
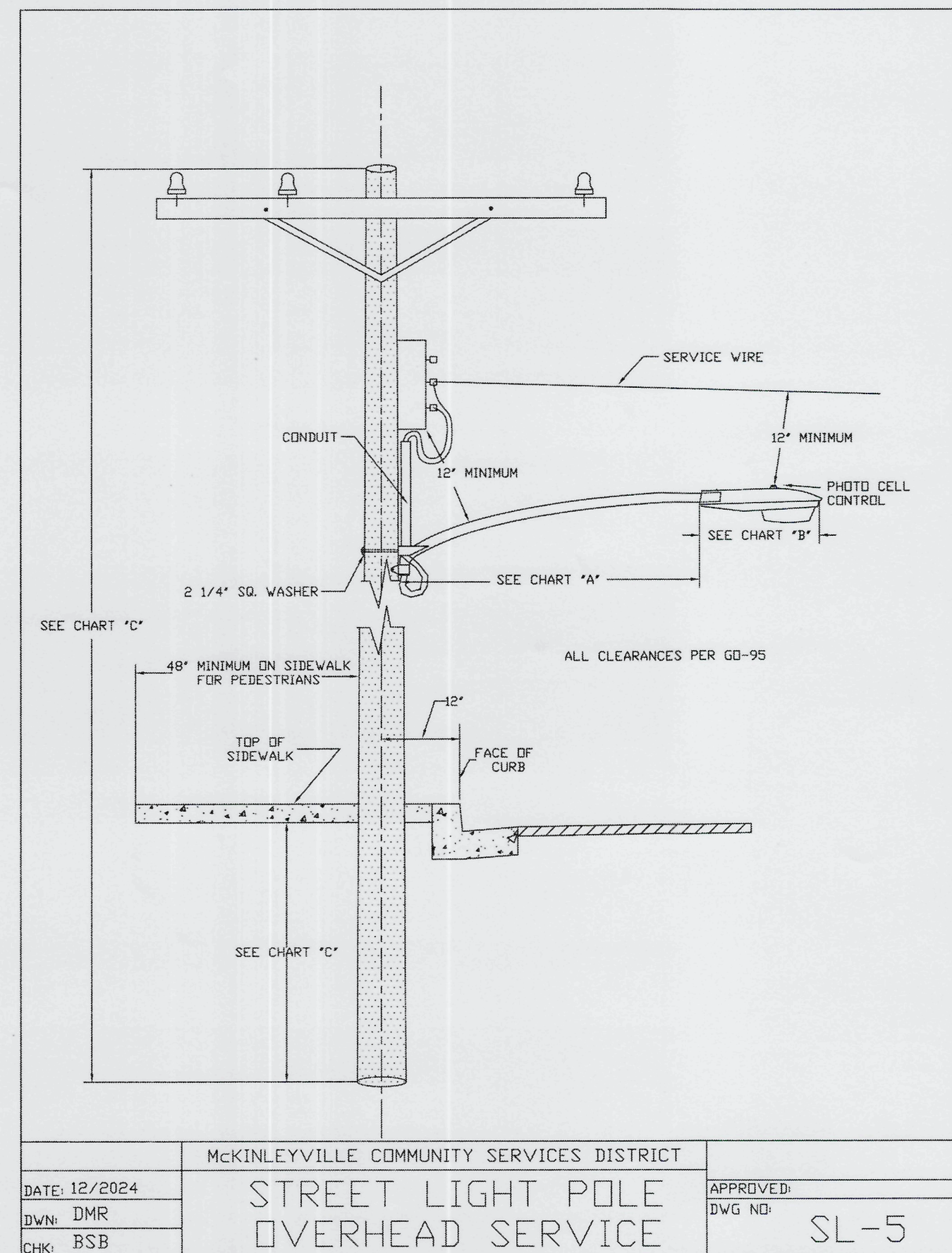
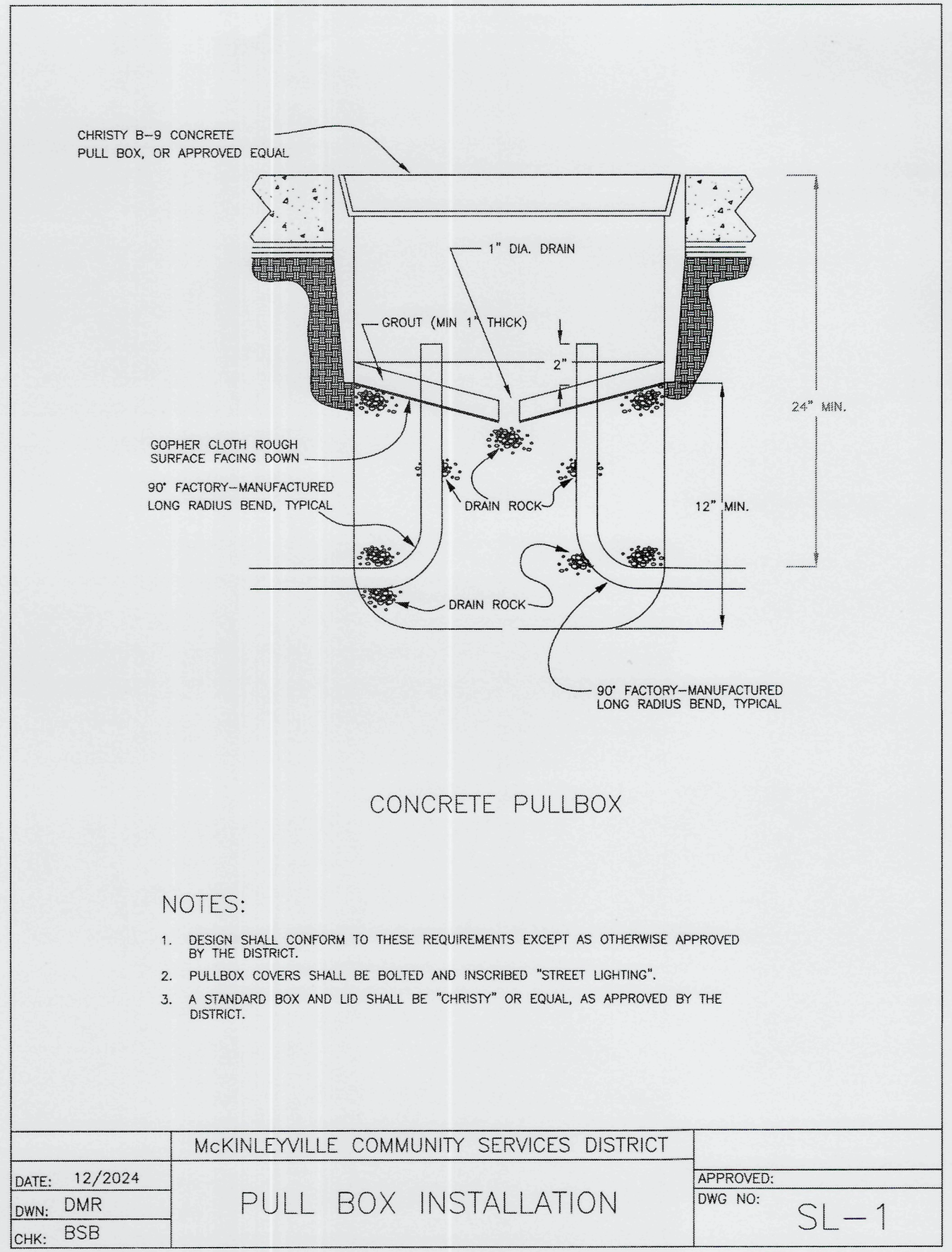












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610 9th Street Fortuna, California 95540  
Phone (707) 725-8926

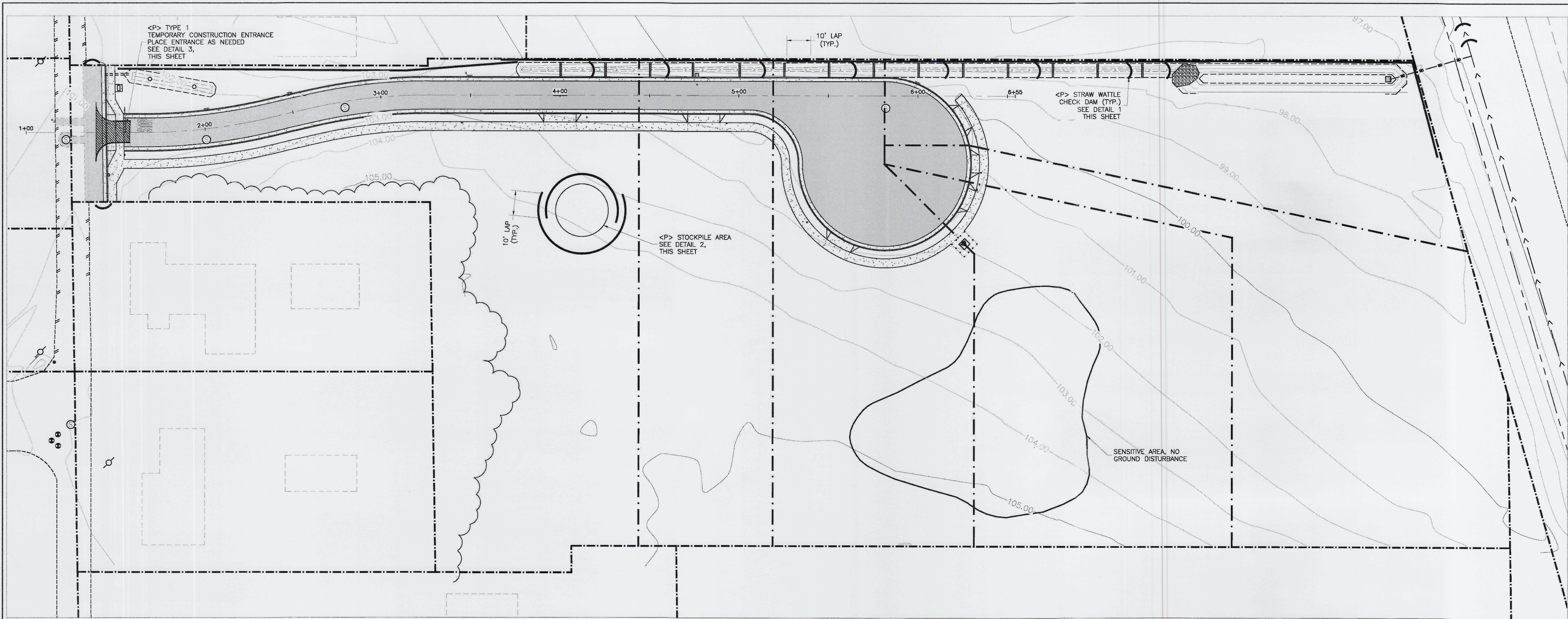
**RUFFINO RESIDENTIAL SUBDIVISION**  
ANDERSON AVENUE, MCKINLEYVILLE, CA 95519  
APN: 508-091-039

**STANDARD DETAILS**

For: Stephanie & David Ruffino, 308B St. Michael Ct. Chico, CA 95973

Date	APR 28, '25
Scale	AS NOTED
Design	ZDU
Drawn	ALW
Job	RUF2101.1
Sheet	13

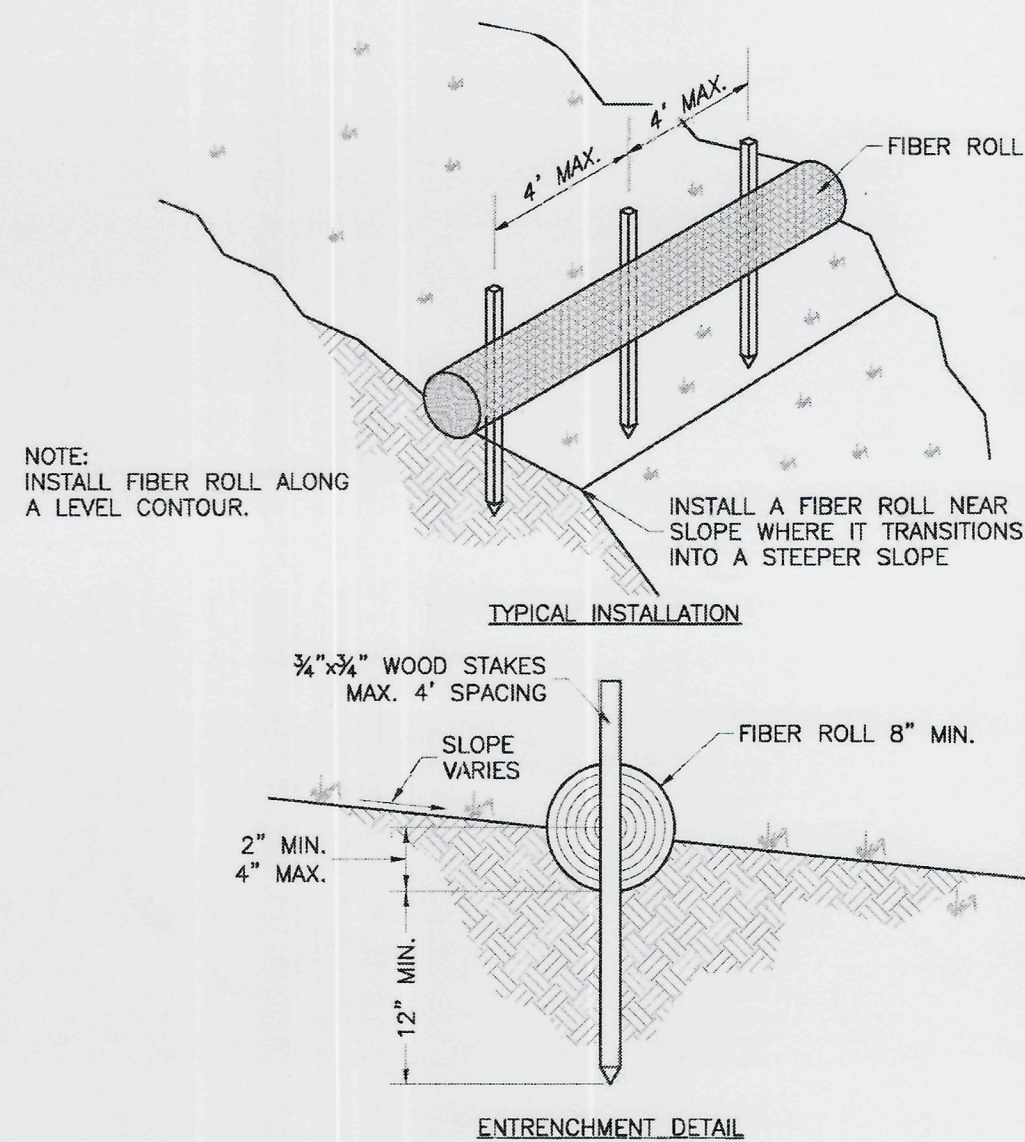
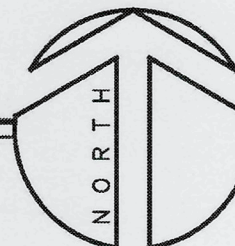




### EROSION CONTROL PLAN

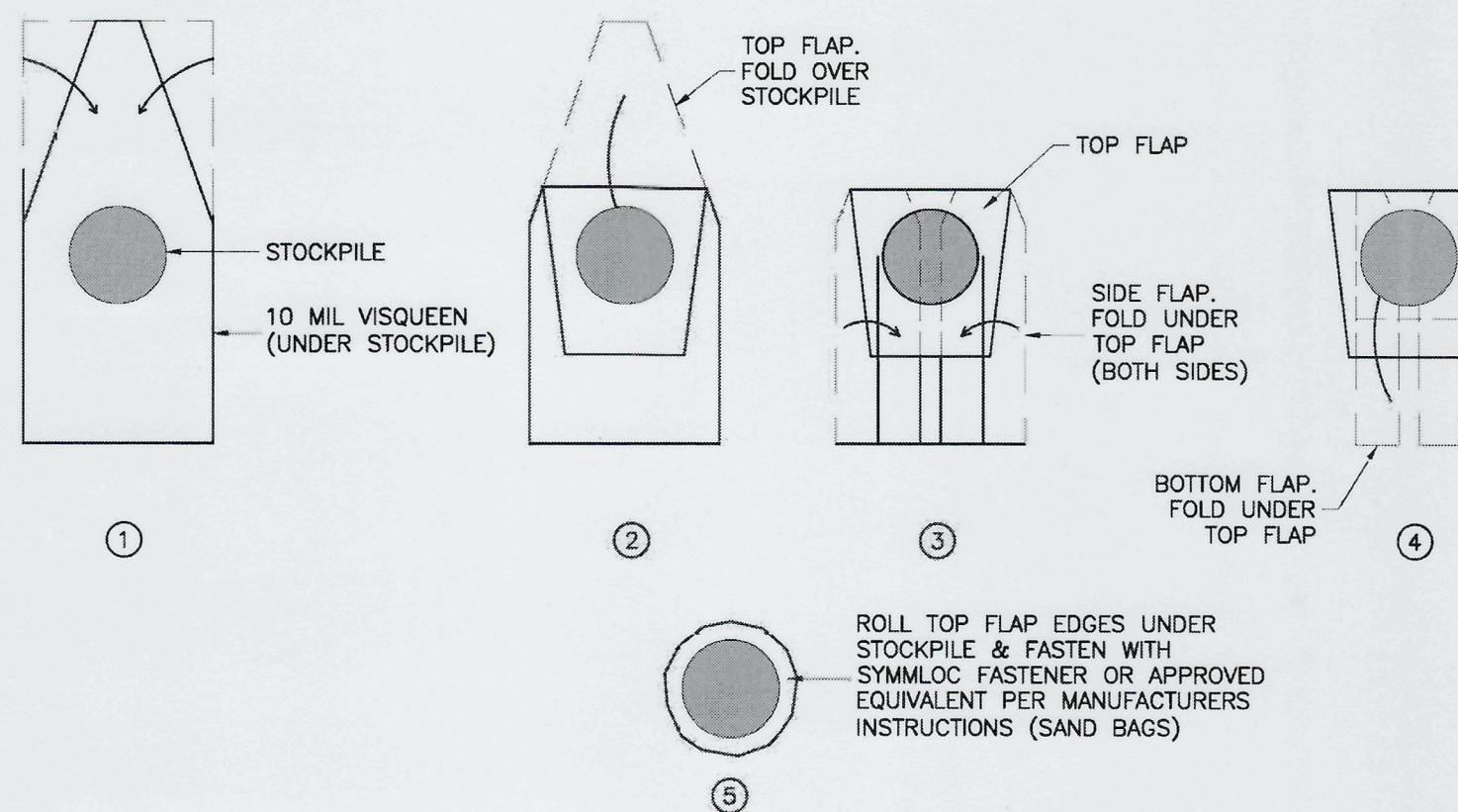
SCALE: 1"=30'

SEE SHEET 1 FOR EROSION CONTROL NOTES



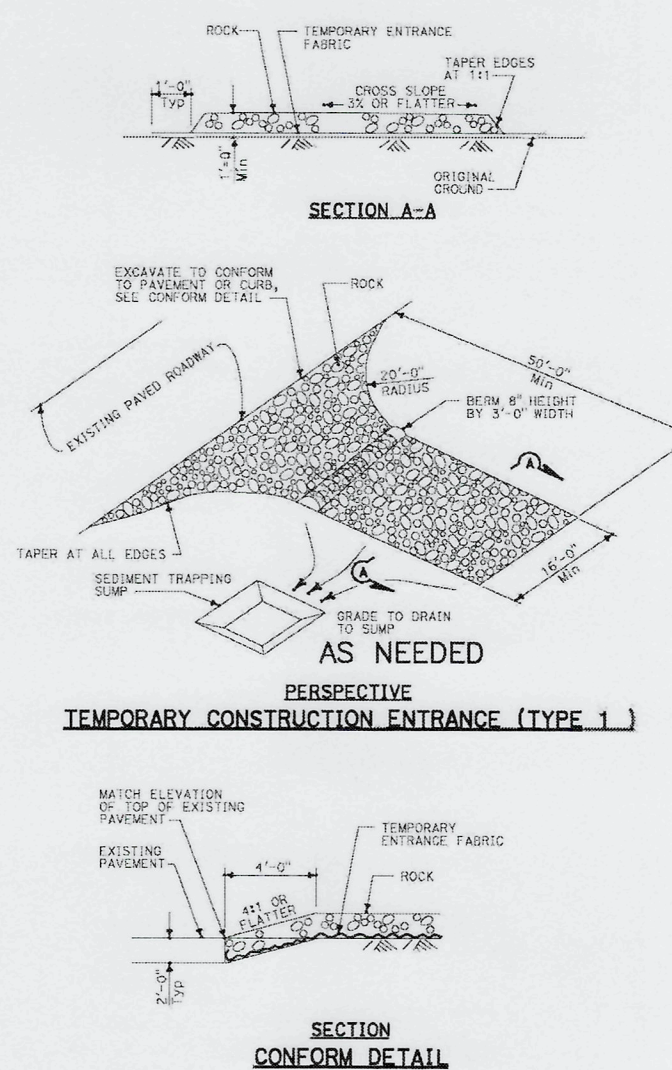
### 1 FIBER ROLL DETAIL

NO SCALE



### 2 BURRITO WRAP STOCK PILE CONTAINMENT

NO SCALE



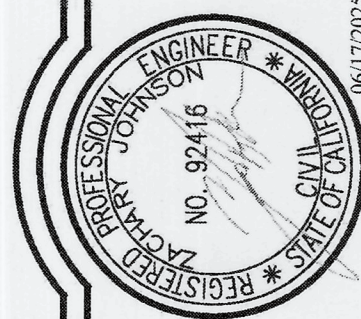
### 3 STABILIZED CONSTRUCTION ENTRANCE

NO SCALE

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Phone (707) 725-6926

**RUFFINO RESIDENTIAL SUBDIVISION**

ANDERSON AVENUE, MCKINLEYVILLE, CA 95519

APN: 508-091-039

**EROSION CONTROL PLAN**

For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973

Date APR 28, '25

Scale AS NOTED

Design ZDJ

Drawn ALW

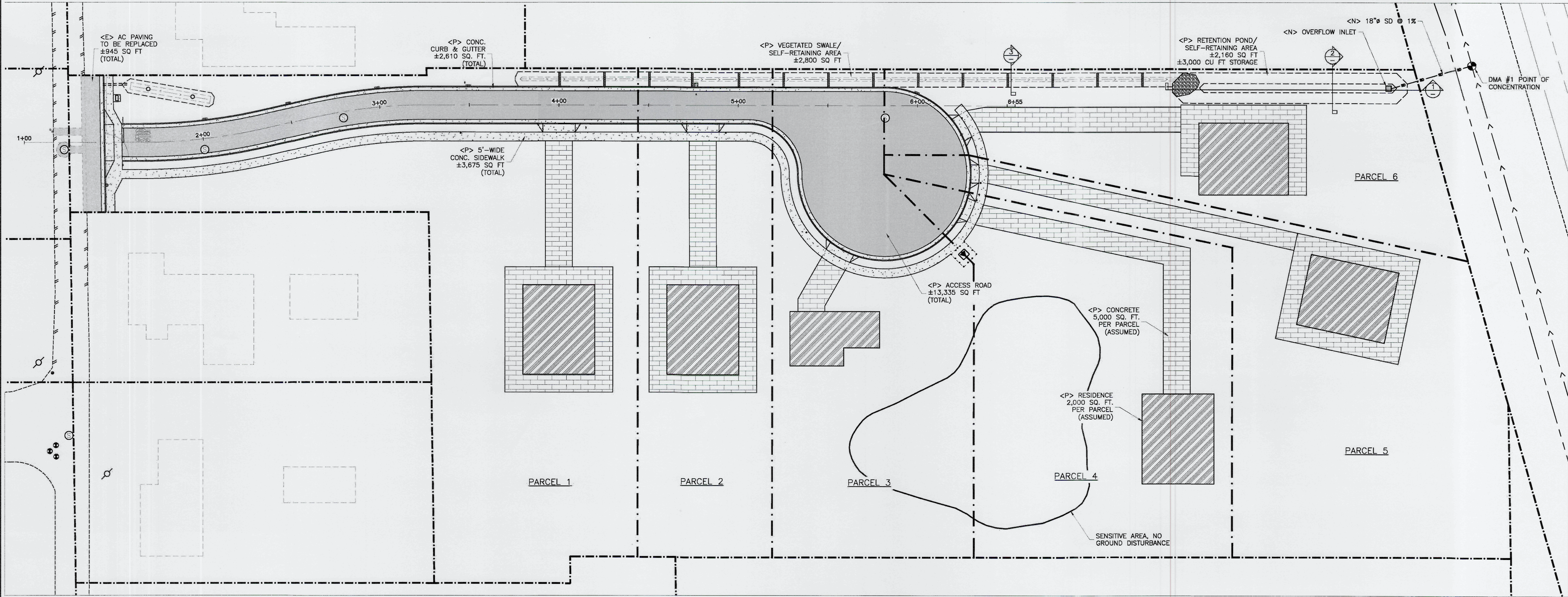
Job RUF2101.1

Sheet

14

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LID NOTES

LOW IMPACT DEVELOPMENT DESIGNS/BEST MANAGEMENT PRACTICES MEET THE REQUIREMENTS SET FORTH IN THE STATE WATER RESOURCE CONTROL BOARD MS4 POST-CONSTRUCTION MEASURES AND HUMBOLDT COUNTY REQUIREMENTS.

TOTAL PROJECT AREA:	±177,906 (4.1 AC)
<E> ASPHALT PAVING AREA:	±705 SQ FT
<E> CONCRETE PAVING AREA:	±0 SQ FT
<E> STRUCTURE AREA:	±0 SQ FT
TOTAL <E> IMPERVIOUS AREA:	±705 SQ FT
<N> AC PAVING AREA:	±14,280 SQ FT
<N> CONCRETE PAVING AREA:	±36,285 SQ FT
<N> STRUCTURE AREA:	±12,000 SQ FT
TOTAL <N> IMPERVIOUS AREA:	±62,565 SQ FT
% INCREASE IN IMPERVIOUS AREA:	±8,874%

DRAINAGE MANAGEMENT AREA 1

TOTAL AREA:	177,906 SQ FT
TOTAL IMPERVIOUS AREA:	62,565 SQ FT
RETENTION POND/CISTERN VOLUME:	3,000 CU FT
RETENTION POND/CISTERN VOLUME:	22,440 GAL.
RETENTION POND/CISTERN CREDIT:	55,651 SQ FT
VEGETATED SWALE AREA:	2,800 SQ FT
VEGETATED SWALE CREDIT:	2,800 SQ FT
SELF RETAINING AREA:	4,960 SQ FT
SELF RETAINING AREA CREDIT:	17,360 SQ FT
TOTAL BMP CREDIT:	75,811 SQ FT
RUNOFF REDUCTION:	121.2%

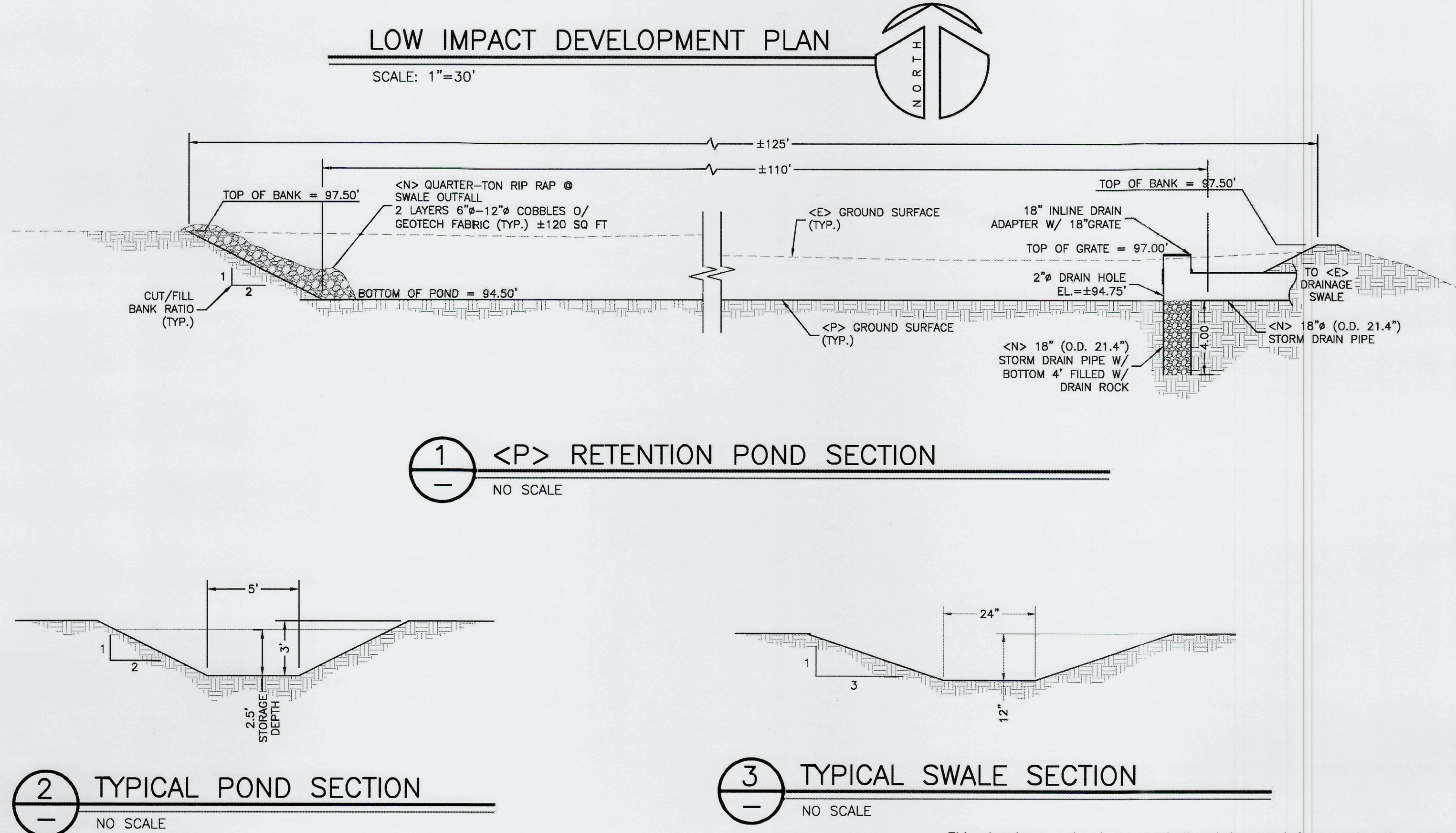
INCLUDES A 2.5 FT DEEP, 2,160 SQ FT STORAGE POND.

RUNOFF VALUES HAVE BEEN CALCULATED USING HUMBOLDT COUNTRY LID WORKSHEET FOR REGULATED PROJECTS.

SEE STORM WATER CONTROL PLAN, DATED 4.9.24.

LOW IMPACT DEVELOPMENT PLAN

SCALE: 1"=30'



NOTE:  
1. DRAINAGE INFRASTRUCTURE TO BE PRIVATELY MAINTAINED BY PROPERTY OWNER.

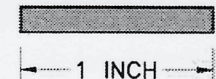
LID PLAN LEGEND

- PROJECT SITE/DMA CONTROL POINT
- <P> AC PAVING
- <P> CONCRETE PAVING
- <P> FUTURE CONCRETE PAVING (ASSUMED)
- <P> FUTURE STRUCTURES (ASSUMED)
- <P> VEGETATED SWALE

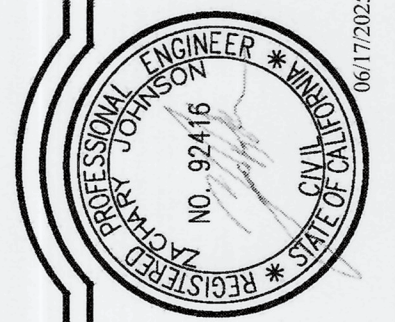
NOTE: FUTURE STRUCTURES AND ASSOCIATED CONCRETE ARE ASSUMED AND NOT PART OF THIS PROJECT.



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RUFFINO RESIDENTIAL SUBDIVISION

ANDERSON AVENUE, MCKINLEVILLE, CA 95519 APN: 508-091-039

PROPOSED LOW IMPACT DEVELOPMENT PLAN

For Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973

Date	APR 28, '25
Scale	AS NOTED
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Drawn	ALW
Job	RUF2101.1
Sheet	15

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