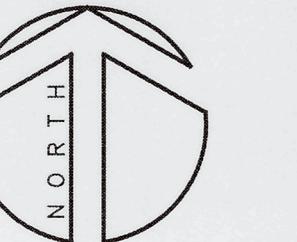




LOCATION MAP

NO SCALE



PROJECT DATA

PROJECT ADDRESS – ANDERSON AVENUE, McKinleyville, CA 95519

CLIENT – STEPHANIE & DAVID RUFFINO

PROPERTY OWNER – STEPHANIE & DAVID RUFFINO

APN: 508-091-039

ZONING – RS-20-M – SINGLE FAMILY RESIDENTIAL

COASTAL ZONE – YES

100-YEAR FLOOD ZONE – NO

SEA AREA – NO

PROJECT SCOPE – CONSTRUCTION OF UTILITIES, DRAINAGE IMPROVEMENTS, SIDEWALKS, AND ROAD/DRIVeway ACCESS (ALL LOTS). CONSTRUCTION OF STRUCTURES AND ASSOCIATED DRIVEWAYS FOR LOTS 1 THROUGH 6 ARE PART OF FUTURE PHASES, AND ARE NOT PART OF THIS PLAN.

BUILDING DEPARTMENT – COUNTY OF HUMBOLDT

BUILDING CODES – 2022 CBC, CPC, CEC, CFC, & ENERGY CODE

PROJECT CONSULTANTS

CIVIL ENGINEERING:
WHITCHURCH ENGINEERING, INC.
610 9th STREET
FORTUNA, CA 95540
(707) 725-6926

SURVEYOR:
WHITCHURCH ENGINEERING, INC.
610 9th STREET
FORTUNA, CA 95540
(707) 725-6926

SHEET INDEX

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14. EROSION CONTROL PLAN
15. LOW IMPACT DEVELOPMENT PLAN

APPROVED BY:
Steve Ruffino
HUMBOLDT COUNTY PUBLIC WORKS, LAND USE DIVISION
Steve Ruffino
HUMBOLDT COUNTY PLANNING DEPARTMENT

6/23/25
DATE

6/23/25
DATE

CALTRANS
Pat Karpas
MCKINLEYVILLE COMMUNITY SERVICES DISTRICT
C. N. Nettie

5/15/25
DATE

5/18/25
DATE

PACIFIC GAS & ELECTRIC
B. E. Johnson
AT&T

5/20/25
DATE

J. WELCH
SUDDEN LINK COMMUNICATIONS
Ed J. Johnson

5/20/25
DATE

ARCATA FIRE PROTECTION DISTRICT

May 19, 2025
DATE

GENERAL NOTES

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2022 EDITION OF THE CALIFORNIA BUILDING CODE, 2022 EDITIONS OF THE CALIFORNIA ELECTRICAL AND FIRE CODES, AND ALL APPENDICES THERETO, CALTRANS 2023 STANDARD PLANS & SPECIFICATIONS, OR HUMBOLDT COUNTY STANDARDS, LATEST EDITION.
2. THE CONTRACTOR SHALL PROVIDE WORKMANS COMPENSATION INSURANCE & LIABILITY INSURANCE.
3. THE CONTRACTOR SHALL GUARANTEE ALL LABOR AND MATERIAL FOR A MINIMUM OF ONE YEAR.
4. THE GENERAL CONTRACTOR SHALL VERIFY ALL THE SITE CONDITIONS AND DIMENSIONS BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
5. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND SHALL APPLY GENERALLY THROUGHOUT SIMILAR CONDITIONS.
6. DETAILS SHOWN ON TYPICAL DETAIL SHEETS SHALL BE USED WHENEVER APPLICABLE, UNLESS OTHERWISE SHOWN. SPECIFIC DETAILS ON THE CIVIL DRAWINGS TAKE PRECEDENCE OVER TYPICAL DETAILS. SPECIFIC NOTES SHOWN ON THE CIVIL DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES. NOTES AND DETAILS ON THE STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER SPECIFICATIONS.
7. ALL CONDITIONS SHOWN OR NOTED AS EXISTING ARE BASED ON BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE DRAWINGS, NO WARRANTY IS IMPLIED AS TO THEIR ACCURACY.
8. ALL BUILDING MATERIAL SHALL BE NEW MATERIAL, UNLESS OTHERWISE APPROVED OR SPECIFIED BY ENGINEER.
9. CONTRACTORS SHALL VERIFY EASEMENTS (PUBLIC OR PRIVATE) FOR SEWER, WATER, ELECTRICAL, TELEPHONE, CABLE T.V., AND GAS PRIOR TO STARTING CONSTRUCTION.
10. VERIFY ALL UTILITY DATA AND LOCATIONS PRIOR TO ANY WORK. ONSITE UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE AGENCY OR UTILITY COMPANY.
11. THE DESIGN CONSULTANTS ASSUMES NO RESPONSIBILITY FOR THE PERFORMANCE OF PRODUCTS OR MATERIALS NOT SPECIFIED IN THESE DRAWINGS.
12. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALLED DRAWINGS. WHERE DISCREPANCIES OCCUR NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION.
13. ACCEPT NO INK OR PENCIL CORRECTIONS TO THESE DRAWINGS WITHOUT THE OWNER'S REPRESENTATIVE INITIAL OR SIGNATURE. THE DESIGN CONSULTANTS SHALL BE HELD HARMLESS FOR ALL CHANGES NOT IN CONFORMITY WITH THIS PROVISION.
14. ALL USERS OF THESE DRAWINGS AGREE BY USING THESE DRAWINGS TO HOLD THE DESIGN CONSULTANTS HARMLESS FOR ANY AND ALL WORK THAT DOES NOT CONFORM TO THE REQUIREMENTS AND MINIMUM STANDARDS OF THE C.B.C., ORDINANCES, AND ACCEPTABLE STANDARDS.
15. THESE DRAWINGS ARE THE PROPERTY OF THE DESIGN CONSULTANTS AND ARE NOT TO BE USED IN PART FOR ANY WORK OTHER THAN THE LOCATION SHOWN HEREON.
16. THE DESIGN CONSULTANTS AND THE OWNER SHALL HAVE NO CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR ANY SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
17. THE CONTRACTOR SHALL COMPLY WITH ALL OF THE APPLICABLE REQUIREMENTS OF THE FEDERAL WILLIAMS – STEIGER OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) OF 1970, AND ANY AMENDMENTS THERETO. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE ENGINEER OR COUNTY OF HUMBOLDT DEPARTMENT OF PUBLIC WORKS.
18. THE CONTRACTOR SHALL COMPARE ALL PAGES OF THE PLANS; ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO PROCEEDING WITH WORK.

19. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR AND SUBCONTRACTORS SHALL REMOVE SURPLUS MATERIALS AND DEBRIS FROM THE SITE. CONTRACTOR SHALL REMOVE ALL DELETERIOUS MATERIAL FROM SITE INCLUDING BUT NOT LIMITED TO; BROKEN CONCRETE, STUMPS, ROCKS, DEBRIS, ASPHALT RUBBLE, GARBAGE, ETC. AND LEGALLY DISPOSE OF ABOVE.
20. LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE FROM RECORD INFORMATION ONLY AND ARE SHOWN FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION IN ANY AREA. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-642-2444 A MINIMUM OF 48 HOURS IN ADVANCE OF ANY EXCAVATION. CONTRACTORS SHALL IMMEDIATELY REPORT ANY DISCREPANCIES IN RECORD INFORMATION TO ENGINEER AND DEVELOPER PRIOR TO CONSTRUCTING ANY WORK.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SAFETY REQUIREMENTS.
22. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS ON OR ADJACENT TO PROJECT SITE. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGE TO EXISTING IMPROVEMENTS TO THE SATISFACTION OF COUNTY OF HUMBOLDT PUBLIC WORKS OR PRIVATE PROPERTY OWNER INVOLVED.
23. THE ENGINEER OF RECORD SHALL PROVIDE A FINAL LETTER OF CERTIFICATION TO THE COUNTY OF HUMBOLDT PUBLIC WORKS DEPARTMENT CONFIRMING THE PROJECT HAS BEEN COMPLETED IN CONFORMANCE WITH THE APPROVED SOILS REPORT, GRADING, EROSION AND SEDIMENT CONTROL PLAN, AND STORM WATER POLLUTION PREVENTION PLAN.

EARTHWORK AND BACKFILL

ALL EARTHWORK SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 18 AND 33 OF THE CBC 2022 EDITION AND THE COUNTY OF HUMBOLDT ORDINANCE AND THE SOILS REPORT PREPARED BY WHITCHURCH ENGINEERING, INC., DATED DECEMBER 21, 2022.

1. TOPSOIL – TOPSOIL LAYER SHALL BE REMOVED PRIOR TO ESTABLISHING THE SUBGRADE ON NATIVE SANDY GRAVEL CLAY. DEPTH OF TOPSOIL AVERAGES 1-1.5 FEET.
2. EXCAVATION – EXCAVATION SHALL INCLUDE ALL EXCAVATION REQUIRED FOR SITE AND/OR BUILDING WORK UNLESS OTHERWISE SPECIFIED. CUT SLOPES SHALL NOT EXCEED 2 (TWO) HORIZONTAL TO 1 (ONE) VERTICAL.
3. FILL – FILL MATERIAL FOR THE FOUNDATIONS SHALL BE WELL GRADED CALTRANS CLASS II AGGREGATE SUB-BASE OR OTHER MATERIAL APPROVED BY THE PROJECT ENGINEER. FILL SHALL BE COMPACTED TO 90% (95% FOR TOP 24") RELATIVE COMPACTION. FILL SHALL BE PLACED AND COMPACTED IN 8 INCH LAYERS. COMPACTION TESTING IS REQUIRED, SUCH TESTING SHALL COMPLY TO ASTM LABORATORY TEST METHOD D-1557 SUBJECT TO APPROVAL BY THE ENGINEER OF RECORD.
4. BASE – PAVEMENT BASE AND BASE UNDER CONCRETE SHALL BE CLASS II AS SPECIFIED BY CALTRANS. BASE MATERIAL SHALL BE PLACED IN 6" THICK MAXIMUM UNIFORM LAYERS AND COMPACTED TO 95 PERCENT RELATIVE DENSITY.
5. STRUCTURAL BACKFILL – STRUCTURAL BACKFILL SHALL BE PLACED IN 8 INCH THICK MAXIMUM UNIFORM LAYERS. COMPACTION EQUIPMENT OR METHODS WHICH MAY CAUSE DISPLACEMENT OR DAMAGE STRUCTURES SHALL NOT BE USED. NO BACKFILL MATERIAL SHALL BE DEPOSITED AGAINST CAST-IN-PLACE CONCRETE STRUCTURES UNTIL THE CONCRETE HAS DEVELOPED A STRENGTH OF NOT LESS THAN 1500 P.S.I. COMPRESSIVE STRENGTH.
6. PERMEABLE MATERIAL (FILTER GRAVEL) – PERMEABLE MATERIAL SHALL CONFORM TO CLASS 2 AS SPECIFIED BY CALTRANS UNLESS OTHERWISE NOTED ON PLANS.
7. ALL TOPSOIL STRIPPED FROM THE SITE SHALL BE DEPOSITED IN A STOCKPILE STORAGE AREA FOR LATER USE AS LANDSCAPING MATERIAL.
8. JETTING OF FILL IS NOT RECOMMENDED FOR COMPACTION PURPOSES.
9. MINIMUM POSITIVE DRAINEAGE OF 5% AWAY FROM ALL BUILDING FOUNDATIONS AND FOOTINGS FOR A MINIMUM OF 10' HORIZONTAL DISTANCE.
10. EXCESS FILL MATERIAL SHALL BE HAULED TO AN APPROVED DIRT DISPOSAL SITE BY CONTRACTOR. SUITABLE MATERIAL SHALL BE USED TO BERM THE LID POND AND FILL THE NORTH SLOPE, 2:1 SLOPES AND 90% RC.

SITE PREPARATION

1. ALL TOPSOIL, VEGETATION, ORGANICS, AND DEBRIS SHOULD BE REMOVED FROM THE PROPOSED BUILDING AND PAVEMENT AREAS. THE GENERAL DEPTH OF STRIPPING SHOULD BE SUFFICIENTLY DEEP TO REMOVE THE ROOT SYSTEMS AND ORGANIC TOP SOILS. FOR ESTIMATE PURPOSES, A MINIMUM STRIPPING DEPTH OF 6 INCHES SHOULD BE USED. THE ACTUAL DEPTH OF STRIPPING SHOULD BE REVIEWED BY THE SOILS CONSULTANT AT THE TIME OF CONSTRUCTION. 1'-1.5' IS THE TYPICAL TOP SOIL DEPTH FOR THIS SITE. DEEPESTRIPPING MAY BE REQUIRED IN LOCALIZED AREAS. STRIPPING SHOULD EXTEND LATERALLY A MINIMUM OF 10 FEET OUTSIDE THE BUILDING AND PAVEMENT PERIMETERS. THESE MATERIALS WILL NOT BE SUITABLE FOR USE AS ENGINEERED FILL; HOWEVER, STRIPPED TOPSOIL MAY BE STOCKPILED AND REUSED IN LANDSCAPE AREAS AT THE DISCRETION OF THE OWNER.
2. THE CONTRACTOR SHOULD LOCATE ALL FOUNDATIONS, FLOOR SLABS, DEBRIS PITS, FILL SOILS, PAVEMENTS, AND SUBSURFACE STRUCTURES. THESE SOILS OR STRUCTURES SHOULD BE ENTIRELY REMOVED. THE RESULTING EXCAVATIONS SHOULD BE CLEARED OF ALL LOOSE OR ORGANIC MATERIAL, THE EXPOSED NATIVE SOILS SHOULD BE SCARIFIED TO A DEPTH OF 8 INCHES, THEN COMPACTED AS ENGINEERED FILL AND THE EXCAVATION BACKFILLED WITH ENGINEERED FILL.
3. ALL UTILITY LINES SHOULD BE LOCATED. THOSE UTILITY LINES NOT ANTICIPATED TO BE USED AFTER CONSTRUCTION SHOULD BE EXCAVATED AND REMOVED. UTILITY LINES SHOULD NOT BE CRUSHED AND LEFT IN PLACE. THE RESULTING EXCAVATIONS SHOULD BE CLEARED OF ALL LOOSE OR ORGANIC MATERIAL, THE EXPOSED NATIVE SOILS SHOULD BE SCARIFIED TO A DEPTH OF 8 INCHES, THEN COMPACTED AS ENGINEERED FILL AND THE EXCAVATION BACKFILLED WITH ENGINEERED FILL.
4. THE IN-PLACE DENSITY OF EXISTING UTILITY TRENCH BACKFILLS WHICH ARE ANTICIPATED TO REMAIN SHOULD BE DETERMINED. EXISTING TRENCH BACKFILL WITH A RELATIVE DENSITY LESS THAN 90 PERCENT PER ASTM D1557 SHOULD BE OVER-EXCAVATED AND REPLACED AS ENGINEERED FILL WITH A MINIMUM RELATIVE DENSITY OF 92 PERCENT.
5. EXCAVATIONS BELOW GROUNDWATER CAN BE BACKFILLED USING EITHER A SAND-CEMENT SLURRY, OR GRAVEL ENCASED IN A GEOTEXTILE FILTER FABRIC OR ENGINEERED FILL MATERIAL. ONCE THE EXCAVATION IS BACKFILLED ABOVE THE GROUNDWATER TABLE, SILTY SAND SOILS SHOULD BE USED AS BACKFILL.
6. THE EXPOSED GROUND SURFACE IN AREAS TO RECEIVE ENGINEERED FILL MATERIAL, FLOOR SLABS OR PAVEMENTS SHOULD BE SCARIFIED TO A DEPTH OF 8 INCHES, MOISTURE CONDITIONED TO WITHIN TWO PERCENT OF OPTIMUM MOISTURE CONTENT AND COMPACTED AS ENGINEERED FILL. THE ZONE OF SCARIFICATION AND COMPACTION SHOULD EXTEND LATERALLY A MINIMUM OF 10 FEET OUTSIDE THE PERIMETERS OF THE BUILDINGS. THE SCARIFICATION AND COMPACTION SHOULD BE CONDUCTED FOLLOWING STRIPPING OPERATIONS, REMOVAL OF SUBSURFACE STRUCTURES, OVER-EXCAVATION, AND REMOVAL OF ALL SOFT OR PLANT MATERIALS.
7. ALL FILL REQUIRED TO BRING THE SITE TO FINAL GRADE SHOULD BE PLACED AS ENGINEERED FILL. IN ADDITION, ALL NATIVE SOILS OVER-EXCAVATED SHOULD BE COMPACTED AS ENGINEERED FILL.
8. IT SHOULD BE NOTED THAT WATER COULD SEEP INTO EXCAVATIONS. DEWATERING MAY BE REQUIRED. GROUNDWATER WILL ALSO IMPACT THE EXCAVATION, PLACEMENT, AND BACKFILL OF UTILITY LINES. CONTRACTORS SHOULD ANTICIPATE REMOVING WATER SEEPAGE. GRANULAR MATERIALS ENCASED IN A GEOTEXTILE STABILIZATION FABRIC, OR CEMENT-SAND SLURRY BACKFILL MATERIALS SHOULD BE ANTICIPATED WHEN BACKFILLING UTILITY LINES.

SEE SHEET 2 FOR ADDITIONAL SITE PREPARATION REQUIREMENTS.

DUST CONTROL DURING CONSTRUCTION. DURING CONSTRUCTION ACTIVITIES,

THE FOLLOWING DUST CONTROL MEASURES SHALL BE TAKEN:

1. WATER ALL ACTIVE CONSTRUCTION AREAS TWICE PER DAY AND USE EROSION CONTROL MEASURES TO PREVENT WATER RUNOFF CONTAINING SILT AND DEBRIS FROM ENTERING THE STORM DRAINAGE SYSTEM.
2. COVER TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIAL.
3. PAVE, WATER OR APPLY NON-TOXIC SOIL STABILIZERS ON UNPAVED ACCESS ROADS AND PARKING AREAS.
4. SWEEP PAVED ACCESS ROADS AND PARKING AREAS DAILY.
5. SWEEP STREETS DAILY IF VISIBLE MATERIAL IS CARRIED ON ADJACENT PUBLIC STREETS.
6. INSTALL EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC ROADWAYS.
7. REPLANT VEGETATION IN DISTURBED AREAS WITHIN 30 DAYS OF COMPLETION OF PROJECT. THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY FASHION AND BE KEPT FREE OF DEBRIS. SOLID WASTE GENERATE DURING CONSTRUCTION SHALL BE DISPOSED OF IN AN APPROPRIATE MANNER. SUCH WASTE SHALL INCLUDE, BUT NOT BE LIMITED TO: CONCRETE FORMS, WASTE CONCRETE AND ASPHALT, EMPTY CONTAINERS OF BUILDING MATERIALS AND EXCESS BUILDING MATERIALS.

DISCOVERY OF PREHISTORIC OR ARCHAEOLOGICAL RESOURCES

SHOULD CONCENTRATIONS OF ARCHAEOLOGICAL MATERIALS BE ENCOUNTERED DURING CONSTRUCTION OR GRAVITY OPERATIONS, CONSTRUCTION WORK SHALL BE TEMPORARILY STOPPED. THE CONTRACTOR SHALL NOTIFY THE ARCHAEOLOGIST AND RESUME WORK AS SOON AS POSSIBLE. THE ARCHAEOLOGIST HAS EVALUATED THE MATERIALS AND OFFERED RECOMMENDATIONS FOR FURTHER ACTION. PREHISTORIC MATERIALS WHICH COULD BE ENCOUNTERED INCLUDE: OBSIDIAN OR CHERT FLAKES OR TOOLS, LOCALLY DARKENED MIDDEN, GROUNDSTONE ARTIFACTS, DEPOSITIONS OF SHELL, DIETARY BONE, AND HUMAN BURIALS. SHOULD HUMAN REMAINS BE UNCOVERED, STATE LAW REQUIRES THAT THE COUNTY CORONER BE CONTACTED IMMEDIATELY. SHOULD THE CORONER DETERMINE THAT THE REMAINS ARE LIKELY THOSE OF A NATIVE AMERICAN, THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED. THE HERITAGE COMMISSION CONSULTS WITH THE MOST LIKELY NATIVE AMERICAN DESCENDANTS TO DETERMINE THE APPROPRIATE TREATMENT OF THE REMAINS.

SEE SHEET 2 FOR ADDITIONAL ARCHAEOLOGICAL REQUIREMENTS.

DAYS AND HOURS OF CONSTRUCTION AND NOISE CONTROL.

HOURS OF CONSTRUCTION AND NOISE CONTROL. THE FOLLOWING SHALL APPLY TO CONSTRUCTION NOISE FROM TOOLS AND EQUIPMENT:

1. THE OPERATION OF TOOLS OR EQUIPMENT USED IN CONSTRUCTION, DRILLING, REPAIR, ALTERATION OR DEMOLITION SHALL BE LIMITED TO BETWEEN THE HOURS OF 7 A.M. AND 6 P.M. MONDAY THROUGH FRIDAY, AND BETWEEN 9 A.M. AND 5 P.M. ON SATURDAYS.
2. NO HEAVY EQUIPMENT RELATED CONSTRUCTION ACTIVITIES SHALL BE ALLOWED ON SUNDAYS OR HOLIDAYS.
3. CONTRACTOR SHALL SELECT STAGING AREAS AS FAR AS FEASIBLY POSSIBLE FROM SENSITIVE RECEPTORS.
4. CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION EQUIPMENT WITH MANUFACTURER'S SPECIFIED NOISE-MUFFLING DEVICES.
5. UNNECESSARY IDLING OF INTERNAL COMBUSTION ENGINES SHALL BE PROHIBITED. THIS WOULD MEAN TURNING OFF EQUIPMENT IF IT WILL NOT BE USED FOR 5 OR MORE MINUTES.
6. ALL STATIONARY NOISE-GENERATING CONSTRUCTION EQUIPMENT SUCH AS AIR COMPRESSORS AS FAR AS POSSIBLE FROM HOMES AND BUSINESSES.
7. CONTRACTOR SHALL SELECT QUIET CONSTRUCTION EQUIPMENT, PRIMARY AIR COMPRESSORS, WHENEVER POSSIBLE.
8. TRUCK DRIVER SHALL ADHERE TO POSTED SPEED ON LOCAL ROADS. ALTERNATE TRUCK ROUTES SHALL BE CONSIDERED IF COMPLAINTS OCCUR.

THESE PLANS ARE ORIGINALLY PRINTED ON 22" x 34" PAPER.
1 INCH
1

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SPECIFICATIONS:

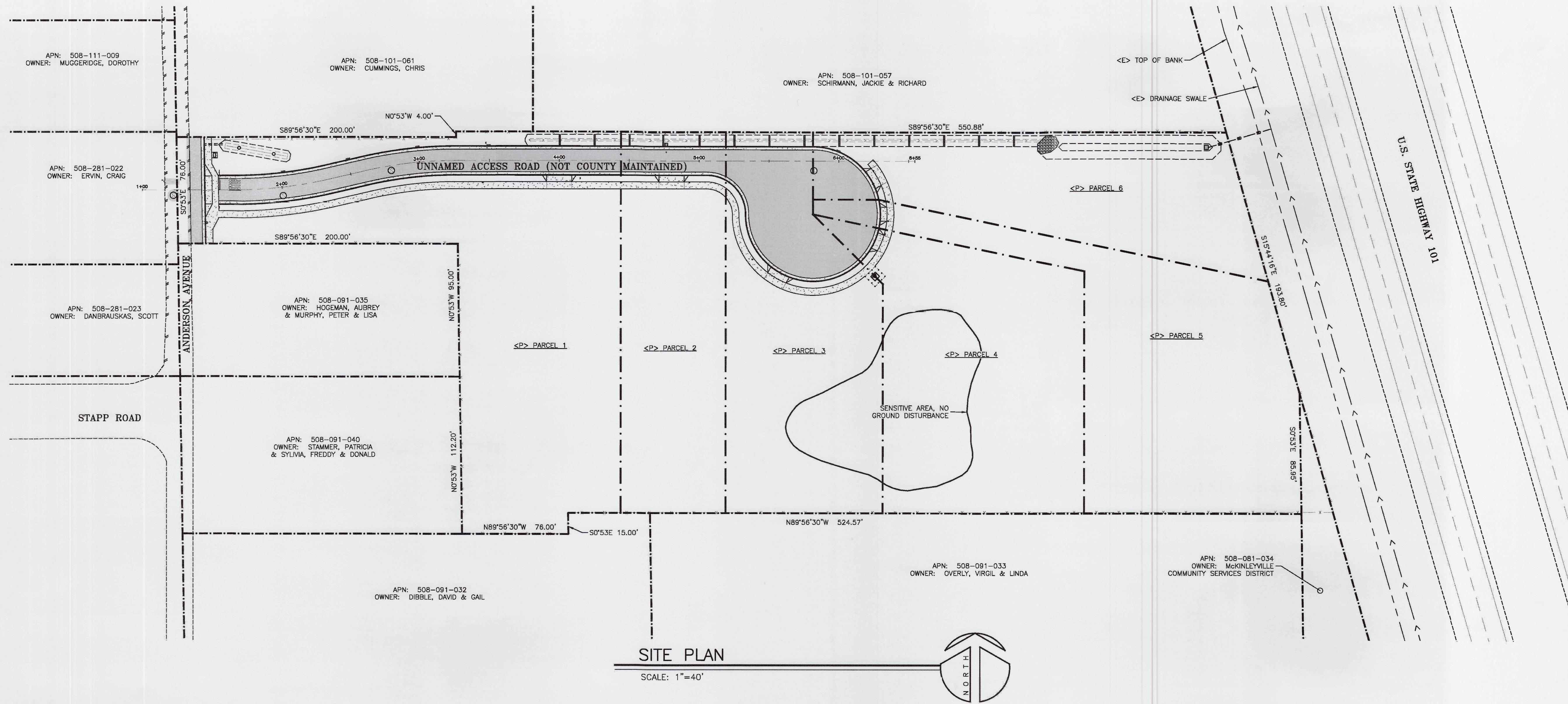
PIPES:

1. WATER PIPING SHALL BE CONSTRUCTED OF EITHER:
 1. C900-AWWA C900 SPECIFICATION WITH GASKETS MEETING ASTM F477 AND JOINTS CONFORMING TO ASTM3139.
 2. DUCTILE IRON PIPE SHALL MEET AWWA A2151. JOINTS SHALL BE IN ACCORDANCE WITH AWWA A21.11. FITTINGS SHALL CONFORM TO AWWA A21.10 OR AWWA 21.53.
- B. SANITARY SEWER PIPING SHALL BE CONSTRUCTED OF:
 1. SDR 35-SHALL MEET ASTM D3034. JOINTS SHALL MEET OR EXCEED ASTM D3212 FOR TIGHTNESS.
 2. DUCTILE IRON PIPE SHALL MEET AWWA A2151. JOINTS SHALL BE IN ACCORDANCE WITH AWWA A21.11. FITTINGS SHALL CONFORM TO AWWA A21.10 OR AWWA 21.53.
- C. DRAINAGE PIPE SHALL BE CONSTRUCTED OF EITHER:
 1. HIGH DENSITY POLYETHYLENE (HDPE) CONFORMING TO ASTM F67.
 2. POLYVINYL CHLORIDE (PVC) CONFORMING TO ASTM 2729-11.
- D. ASPHALT PAVING SHALL BE CONSTRUCTED OF:
 1. ¾" HOT MIX ASPHALT, TYPE B, CONFORMING TO CALTRANS STANDARD SPECIFICATION SECTION 39.

2. THE FINISHED SURFACE OF THE ASPHALT CONCRETE SHALL BE WITHIN 0.05 FOOT OF THE DESIGN GRADES.

E. CONCRETE SHALL BE CONSTRUCTED OF MATERIALS MEETING THE FOLLOWING:

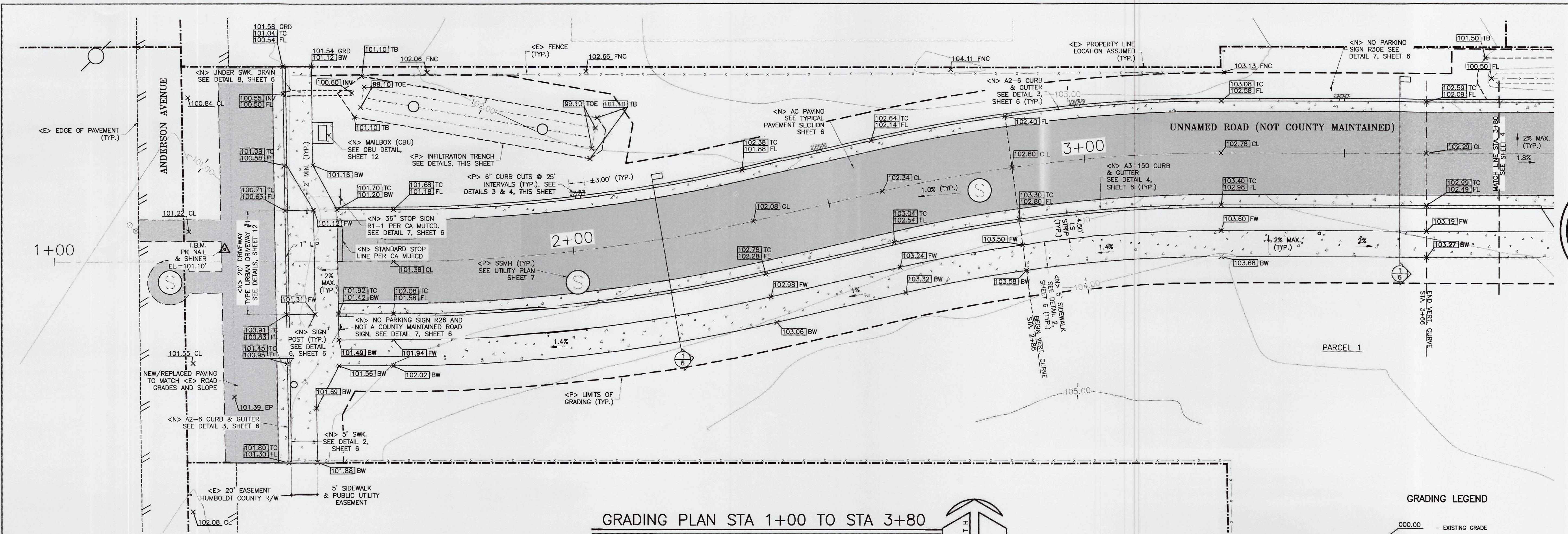
1. MAXIMUM AGGREGATE SIZE OF 1½ INCHES
2. SLUMP OF 4 INCHES PLUS OR MINUS 1 INCH
3. 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI FOR GRADE BEAMS, 2,500 PSI FOR ALL OTHER CONCRETE
4. PORTLAND CEMENT PER CBC SECTION 1909.23
- F. CLASS 2 AGGREGATE BASE SHALL BE CONSTRUCTED OF:
 1. 1½ INCH MAXIMUM AS DEFINED IN SECTION 26-1.02B OF THE CALTRANS STANDARD SPECIFICATIONS (2018 EDITION)
 2. WHERE SPECIFIED AGGREGATE BASE THICKNESS IS 0.50 FOOT OR LESS, THE AGGREGATE BASE MAY BE SPREAD AND COMPACTED IN ONE LAYER.
 -



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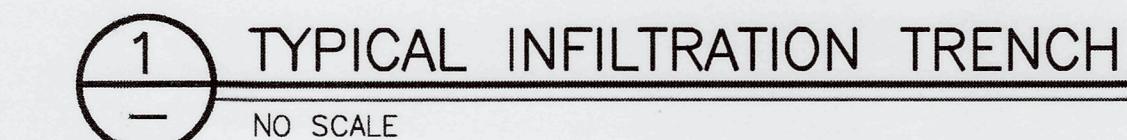
RUFFFINO RESIDENTIAL SUBDIVISION		APN: 508-091-039
ANDERSON AVENUE, MCKINLEYVILLE, CA 95519		For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973
NOTES & SITE PLAN		
610 9th Street Fortuna, California 95540 Phone (707) 725-6926		
		
06/17/2025		



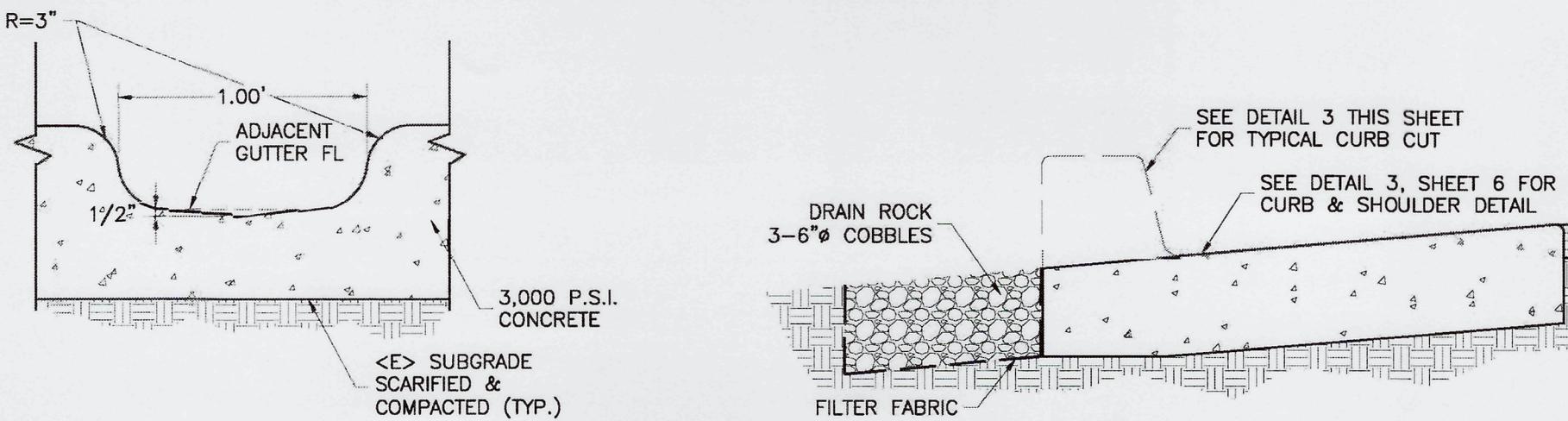
ABBREVIATIONS

AC	ASPHALT CONCRETE
AGG.	AGGREGATE
APPROV.	APPROVED
BW	BACK OF WALK
CC	CONCRETE
CL	CENTERLINE
CO	CLEANOUT
CONC.	CONCRETE
DI	DRAINAGE INLET
DWY	DRIVEWAY
<E>	EXISTING
EL	ELEVATION
ELEC.	ELECTRICAL
EP	EDGE OF PAVEMENT
EXIST.	EXISTING
FH	FIRE HYDRANT
FL	FLOW LINE
FNC	FENCE
FW	FRONT OF WALK
GD	GROUND
GM	GAS METER
GRD	GROUND
HP	HIGH POINT
JB	JUNCTION BOX
MH	MANHOLE
MIN.	MINIMUM
<N>	NEW
<P>	PROPOSED
P.P.	POWER POLE
P.S.I.	POUNDS PER SQUARE INCH
PUE	PUBLIC UTILITY EASEMENT
R/W	RIGHT OF WAY
SD	STORM DRAIN
S.F.	SQUARE FOOT
SQ.	SQUARE
SHT.	SHEET
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
STA	STATION
SWK.	SIDEWALK
TB	TOP OF BANK
T.B.M.	TEMPORARY BENCH MARK
TBR	TO BE REMOVED
TC	TOP OF CURB
THK.	THICK
TOE	TOE OF THE SLOPE
TOG	TOP OF GRATE
TYP.	TYPICAL
UTIL.	UTILITY
W	WATER
W/	WITH
WM	WATER METER
WV	WATER VALVE

1 TYPICAL INFILTRATION TRENCH SECTION

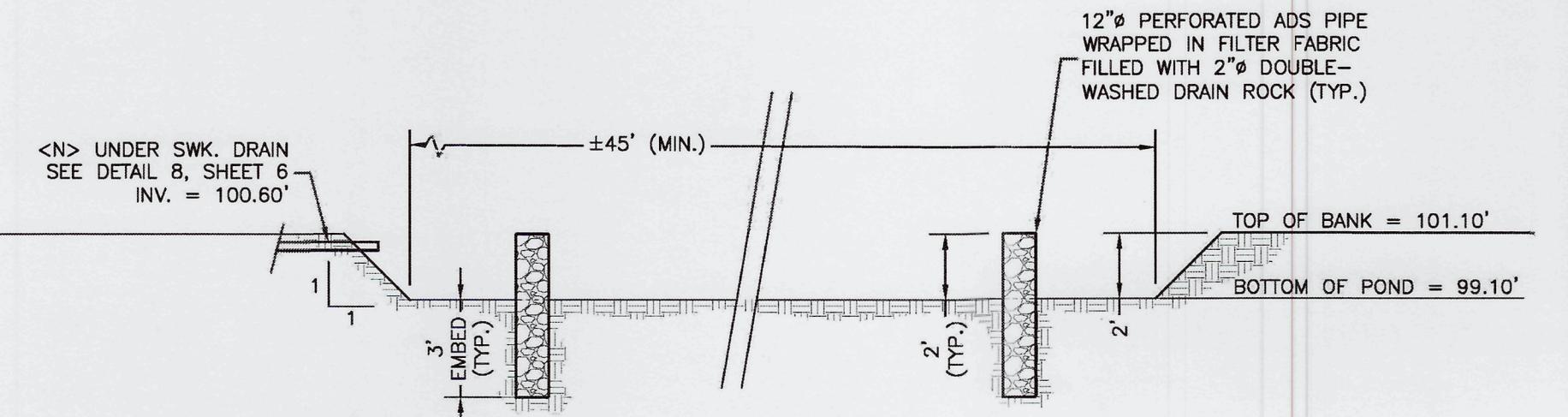


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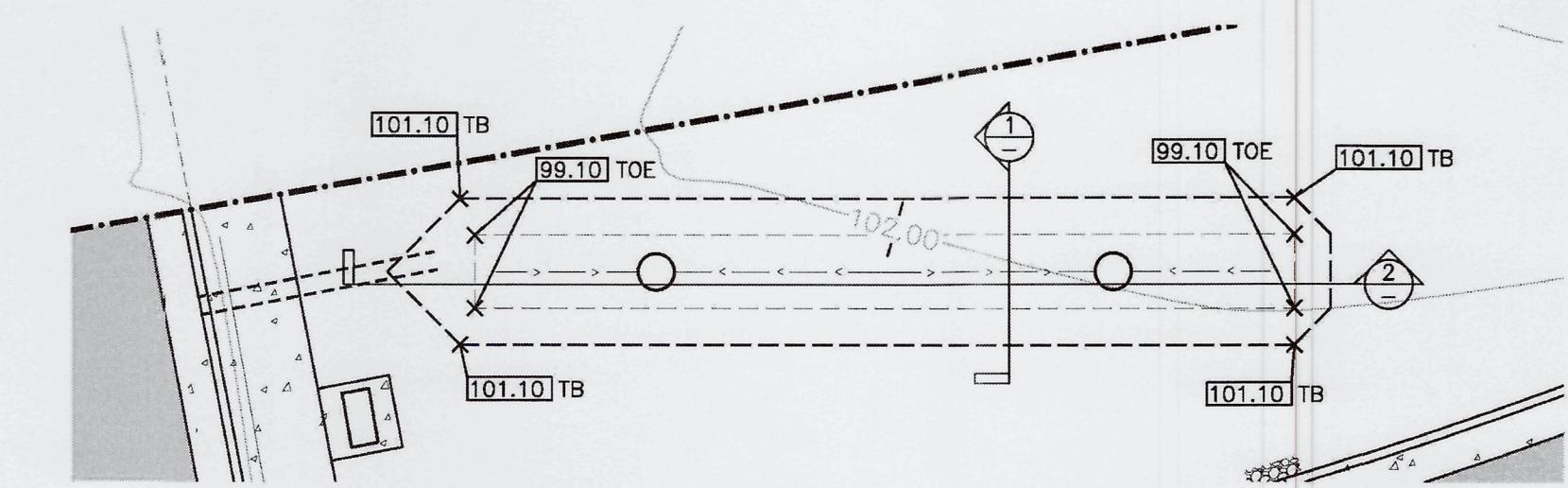
3 TYPICAL CURB CUT SECTION

NO SCALE



2 TYPICAL INFILTRATION TRENCH SECTION

NO SCALE



INFILTRATION TRENCH PLAN

SCALE: 1"=10'

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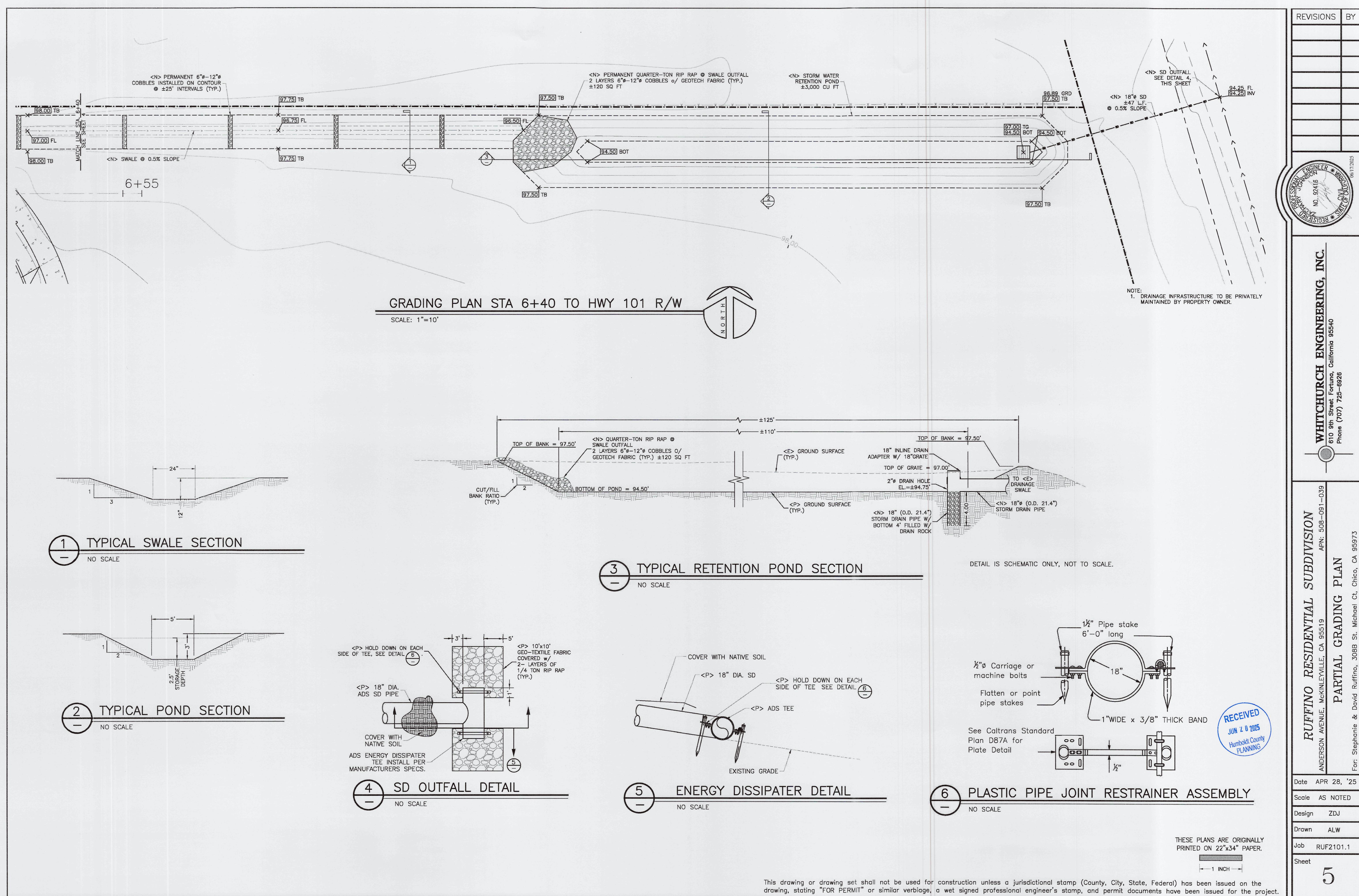


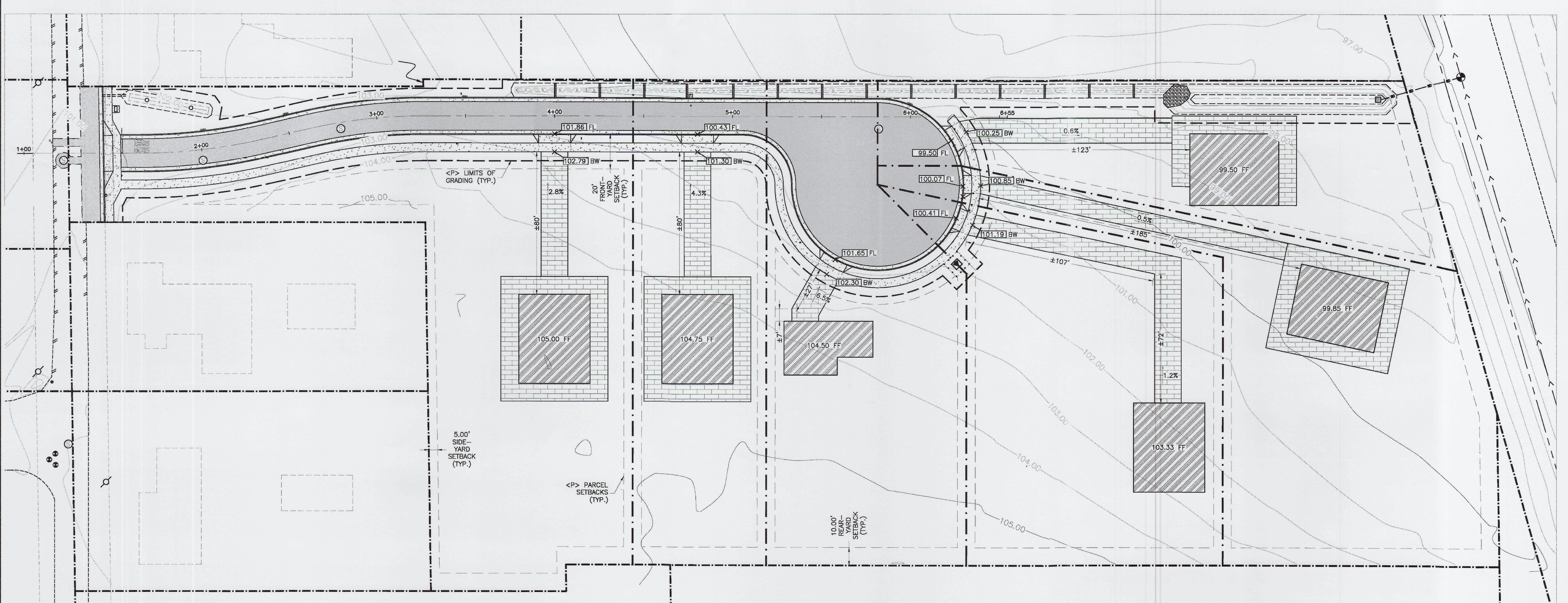
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For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973

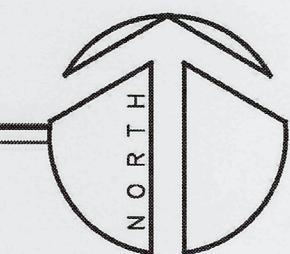
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DRIVEWAY & F.F. GRADING PLAN

SCALE: 1"=30'



RUFFINO RESIDENTIAL SUBDIVISION
N AVENUE, MCKINLEYVILLE, CA 95519 APN: 508-091

DRIVEWAY & F.F. GRADING PLAN

A circular blue ink stamp. The word "RECEIVED" is at the top. The date "JUN 20 2025" is in the center. The words "Humboldt County PLANNING" are at the bottom.

Date	APR 28, '25
Scale	AS NOTED
Design	ZDJ
Drawn	ALW
Job	RUF2101.1
Sheet	
	

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PRINTED ON 22"X34" PAPER.

INCH →

5.1

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REVISIONS	BY

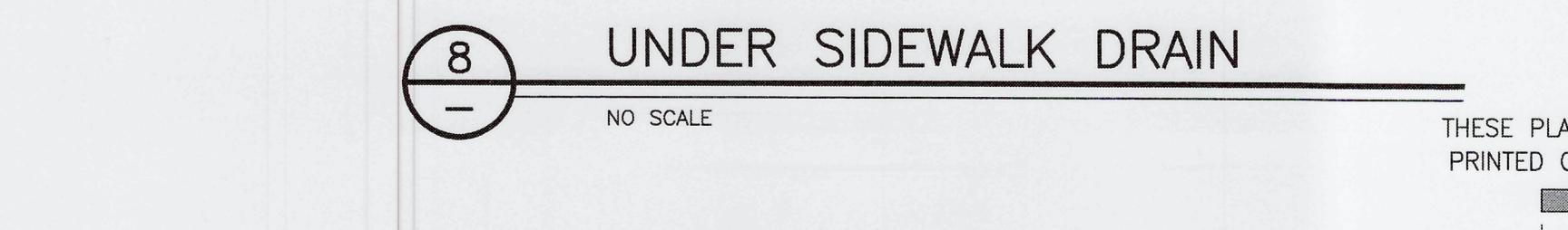
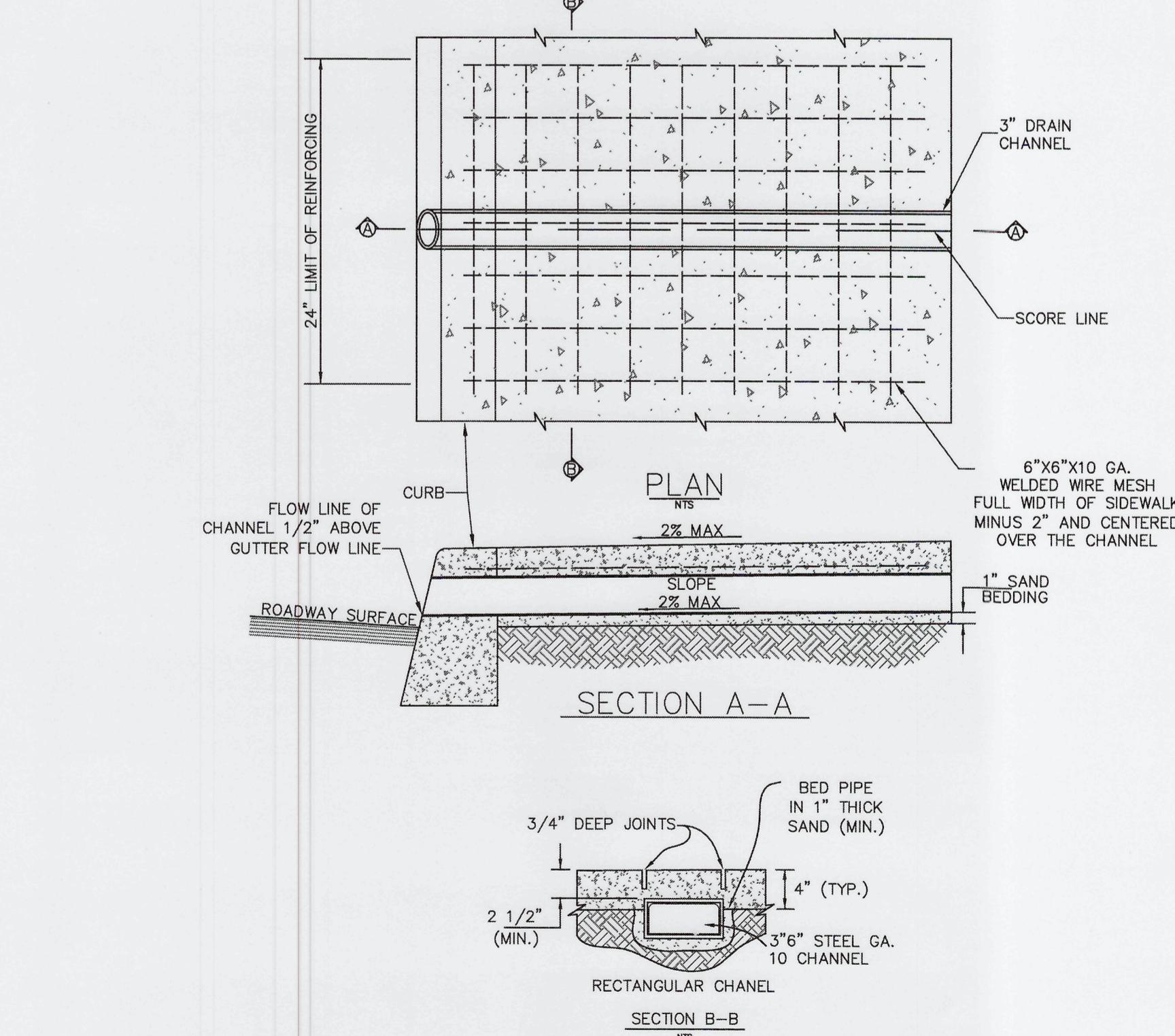
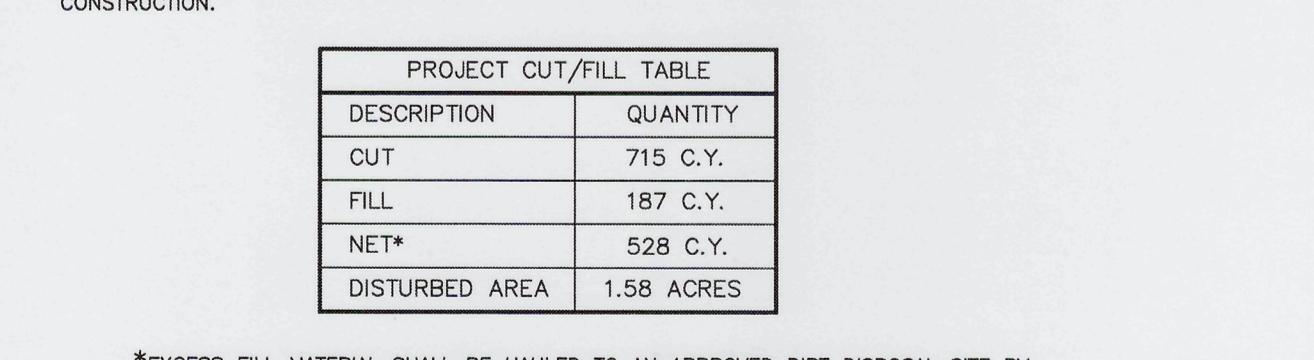
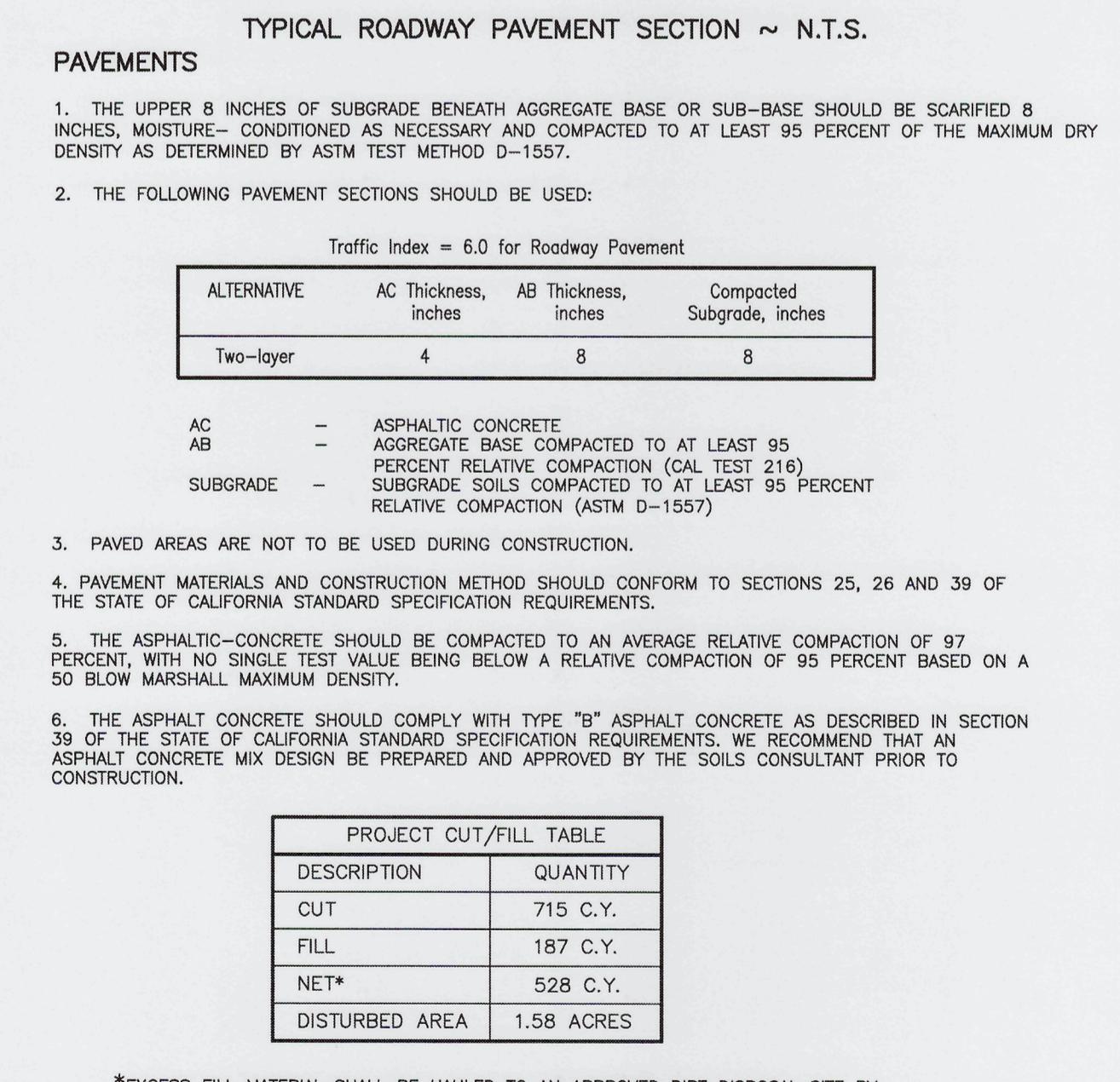
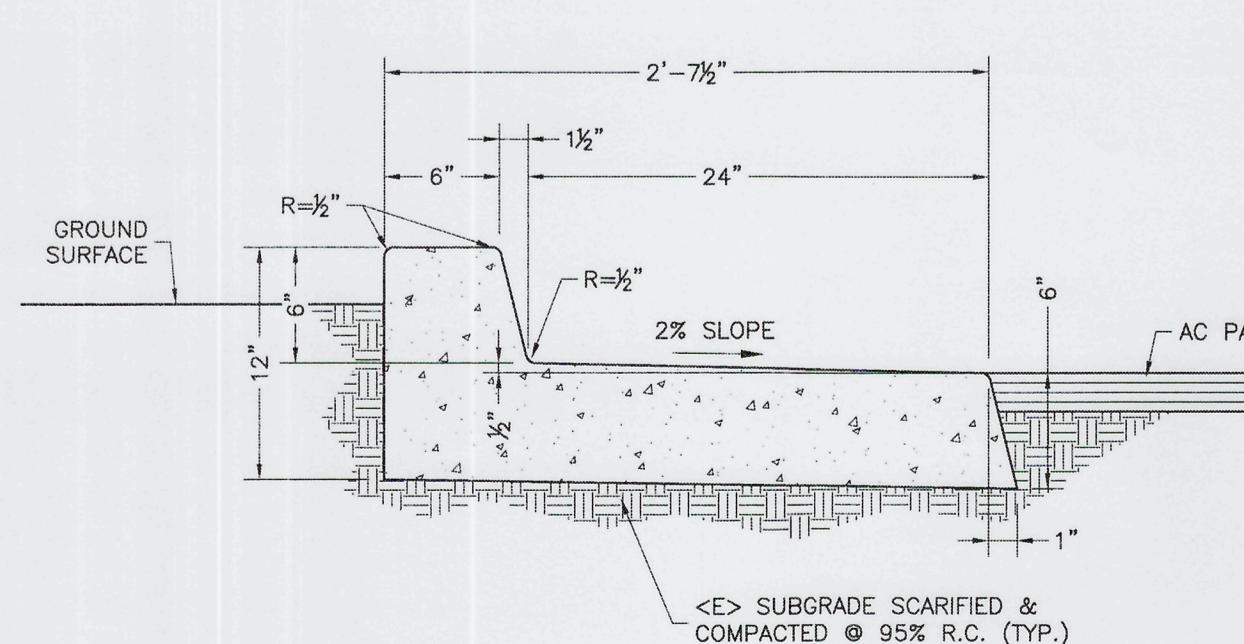
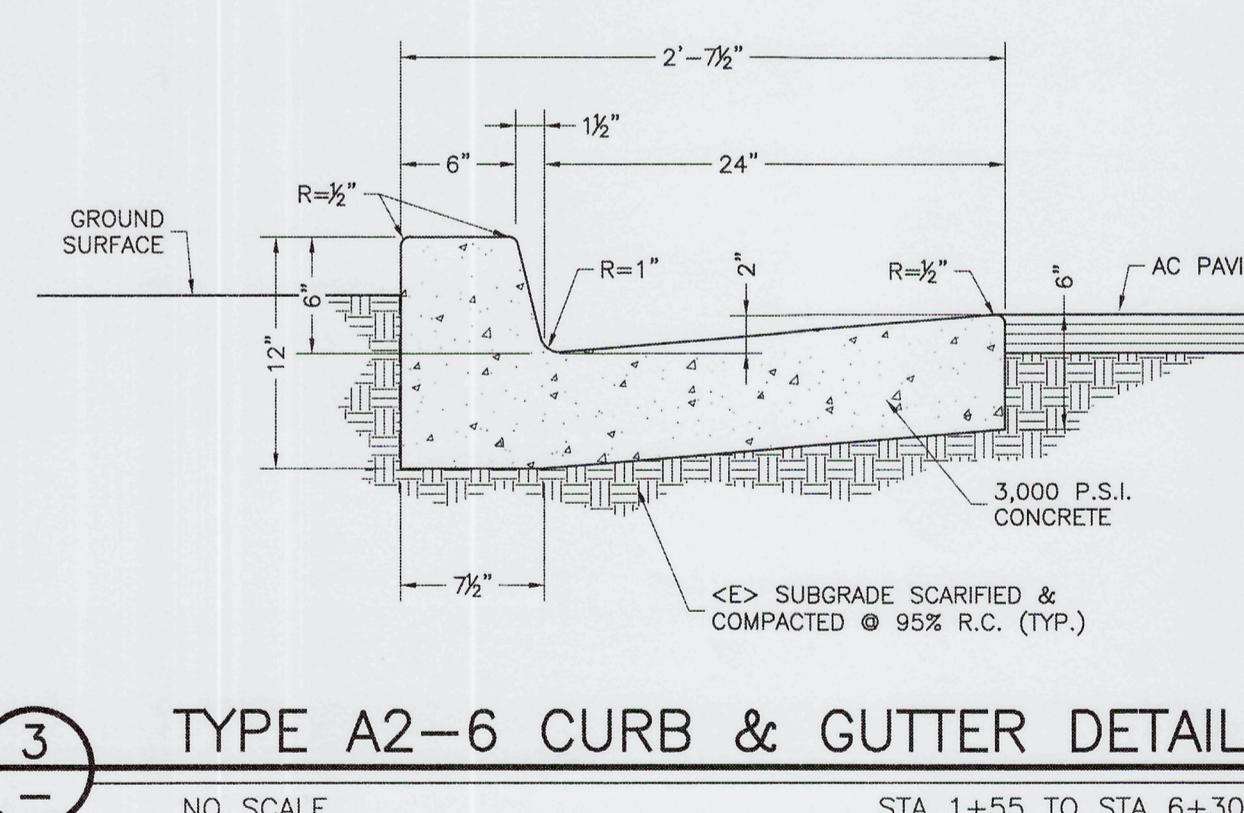
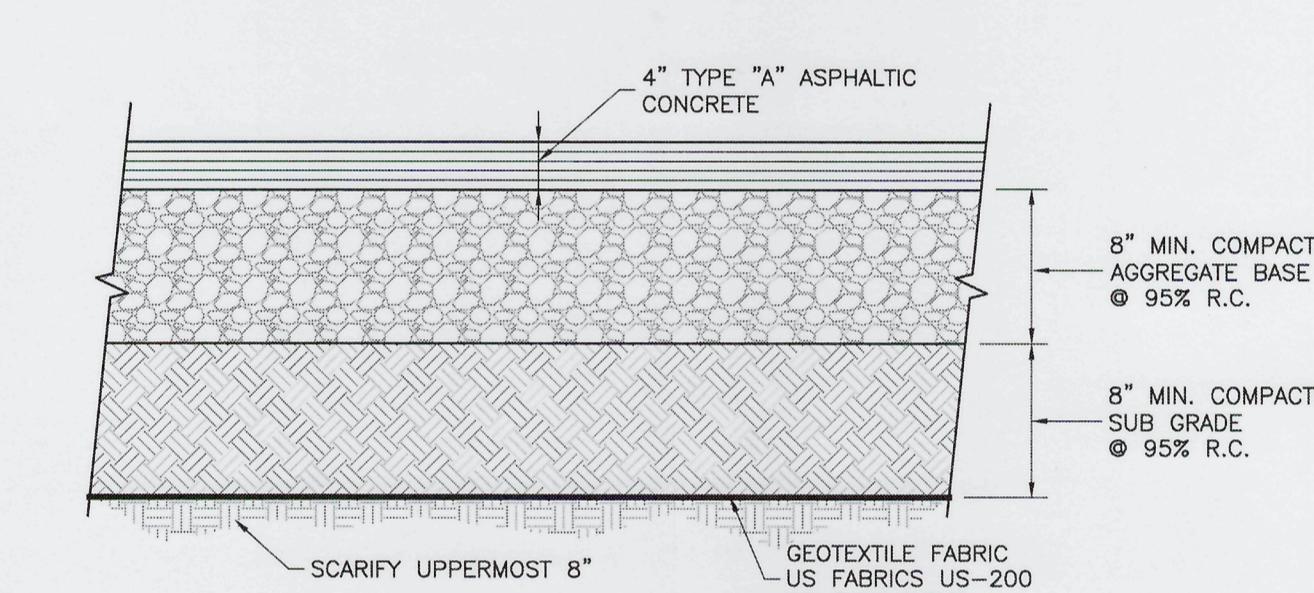
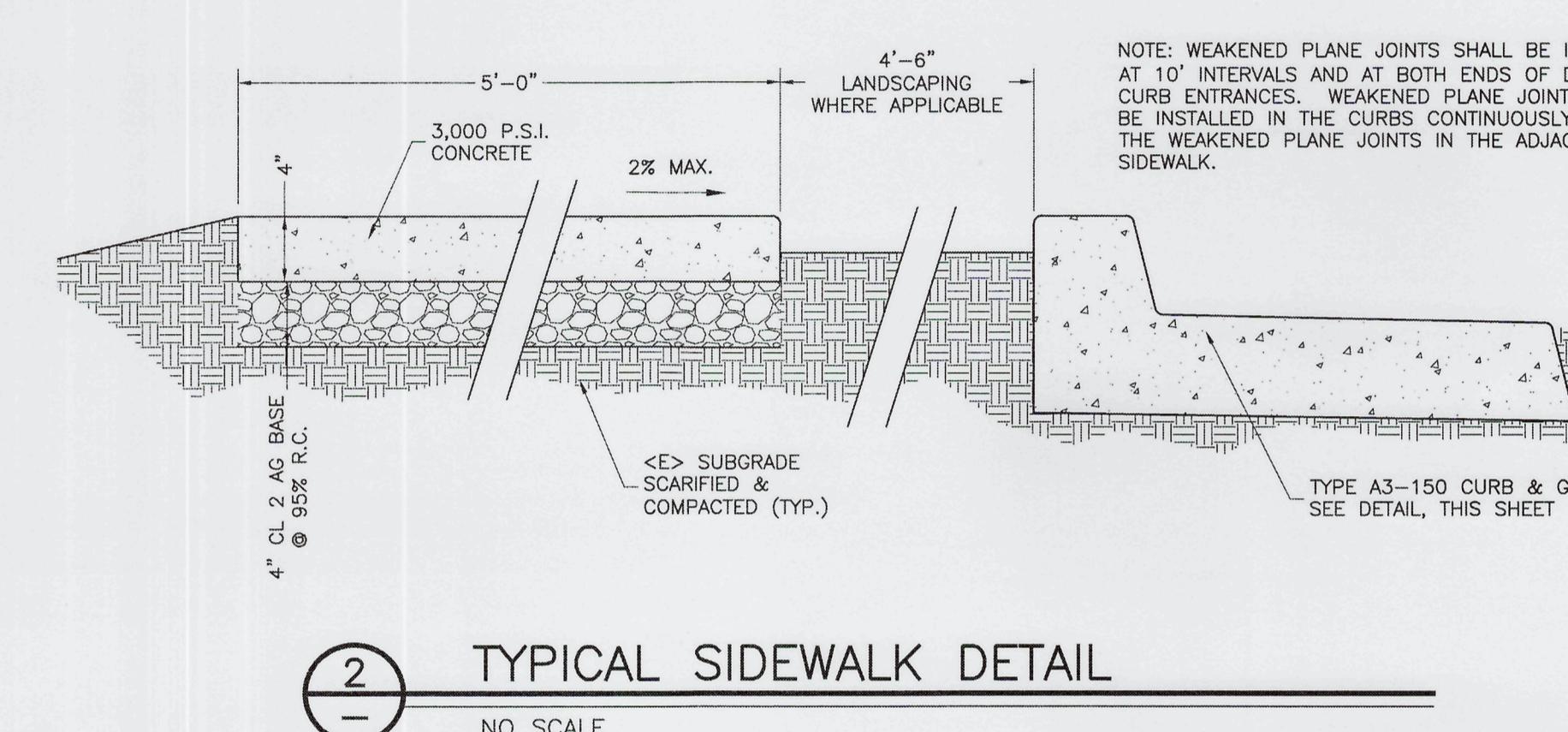
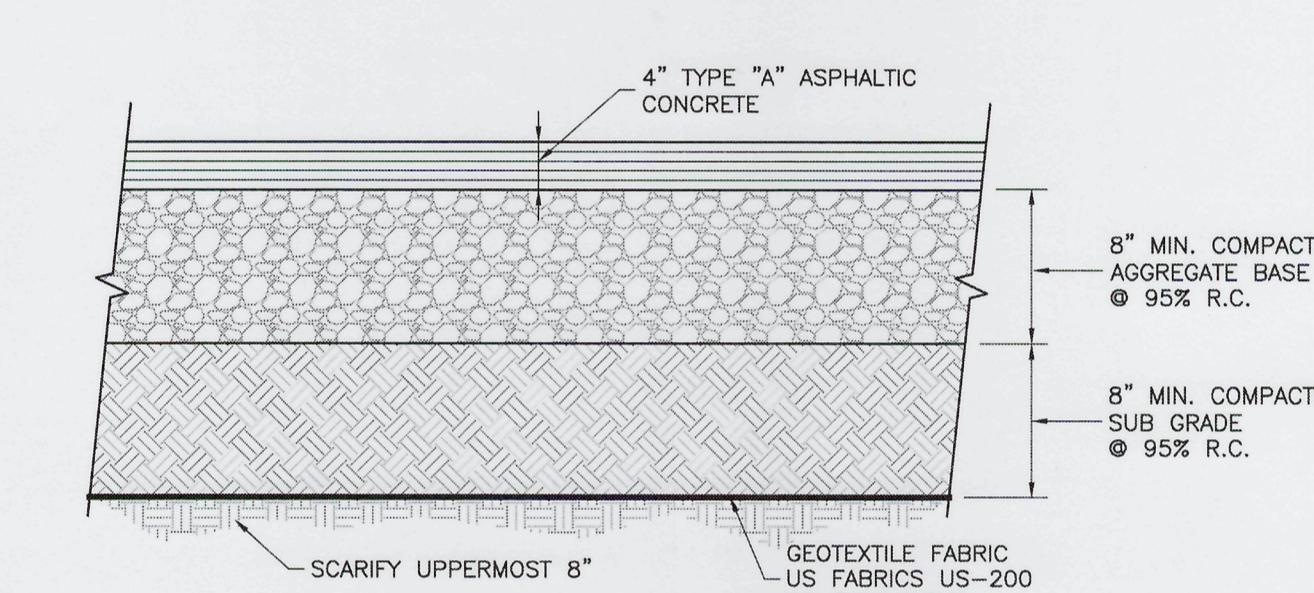
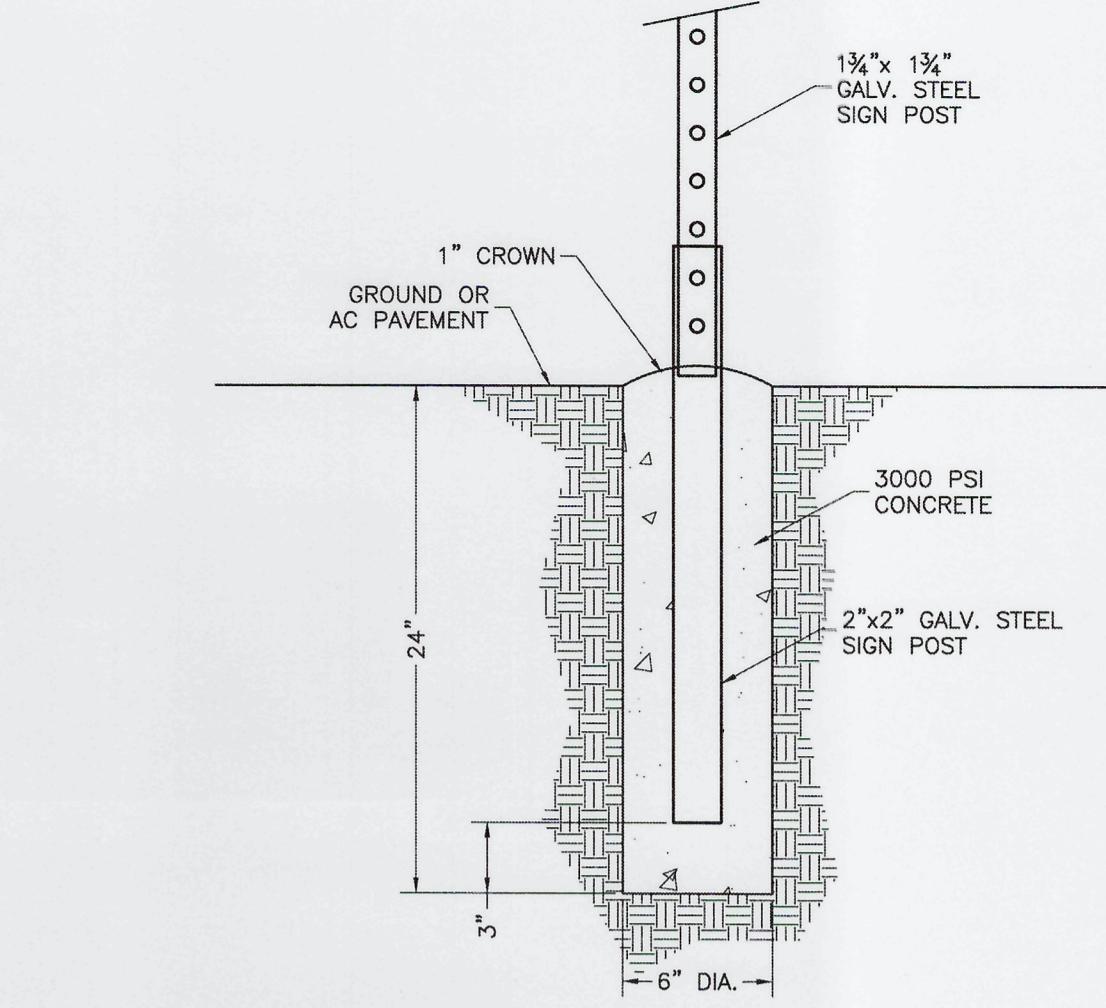
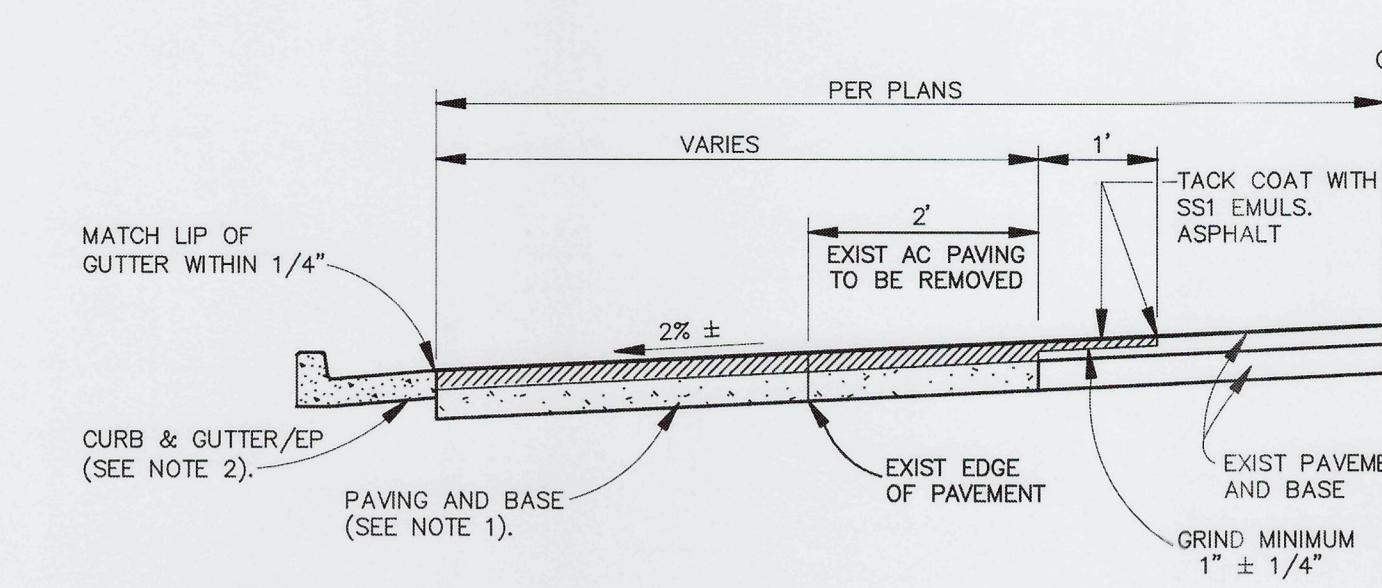
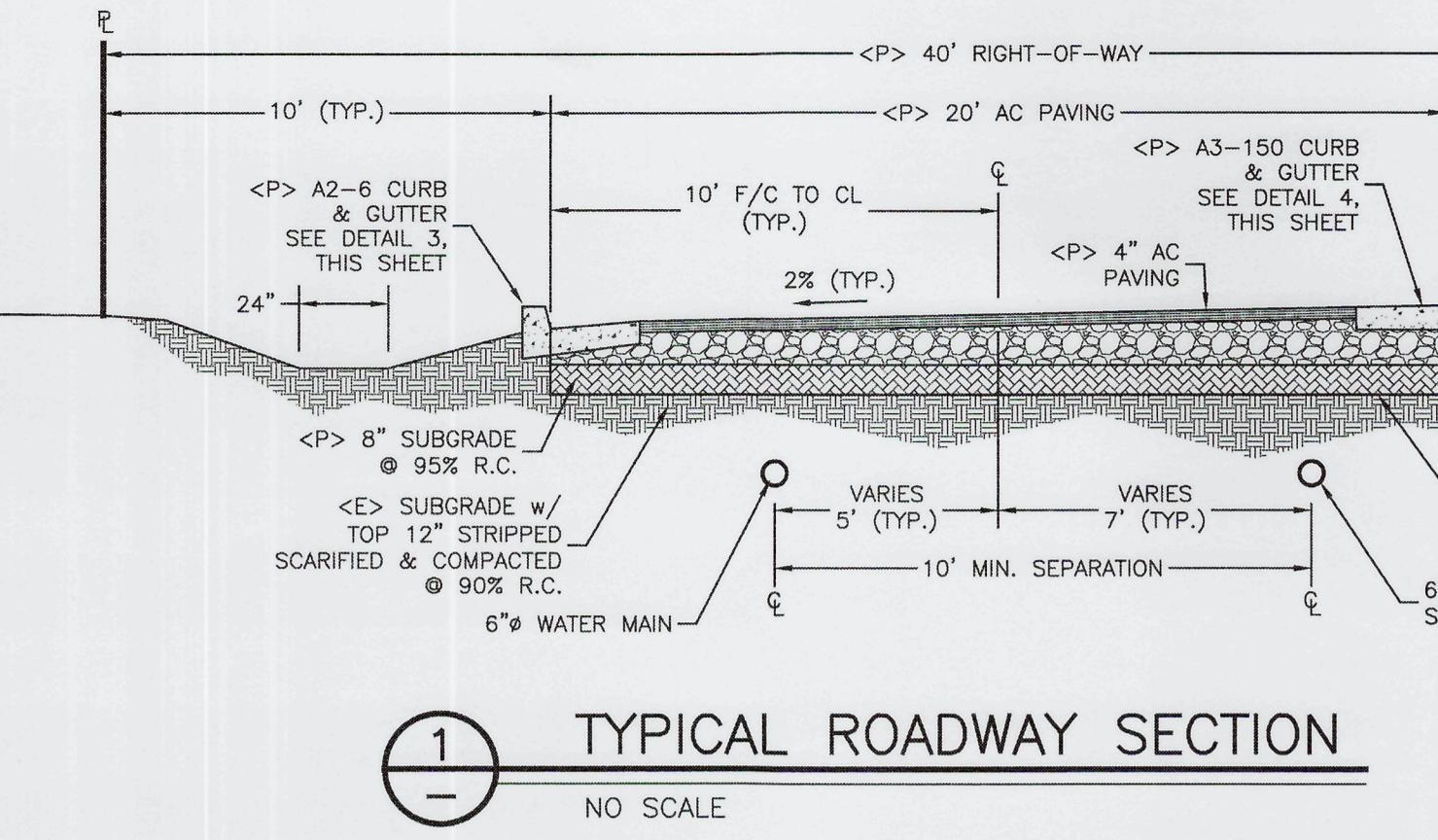
REGISTERED PROFESSIONAL ENGINEER * HUMBOLDT COUNTY CIVIL ENGINEER NO. 02216 06/17/2025

WHITCHURCH ENGINEERING, INC. 610 9th Street Fortuna, California 95540 Phone (707) 725-6926

RUFFINO RESIDENTIAL SUBDIVISION APRN: 508-091-039 ANDERSON AVENUE, MCKINLEVILLE, CA 95519 CONSTRUCTION DETAILS For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973

RECEIVED JUN 20 2025 Humboldt County PLANNING

Date APR 28, '25
Scale AS NOTED
Design ZDJ
Drawn ALW
Job RUF2101.1
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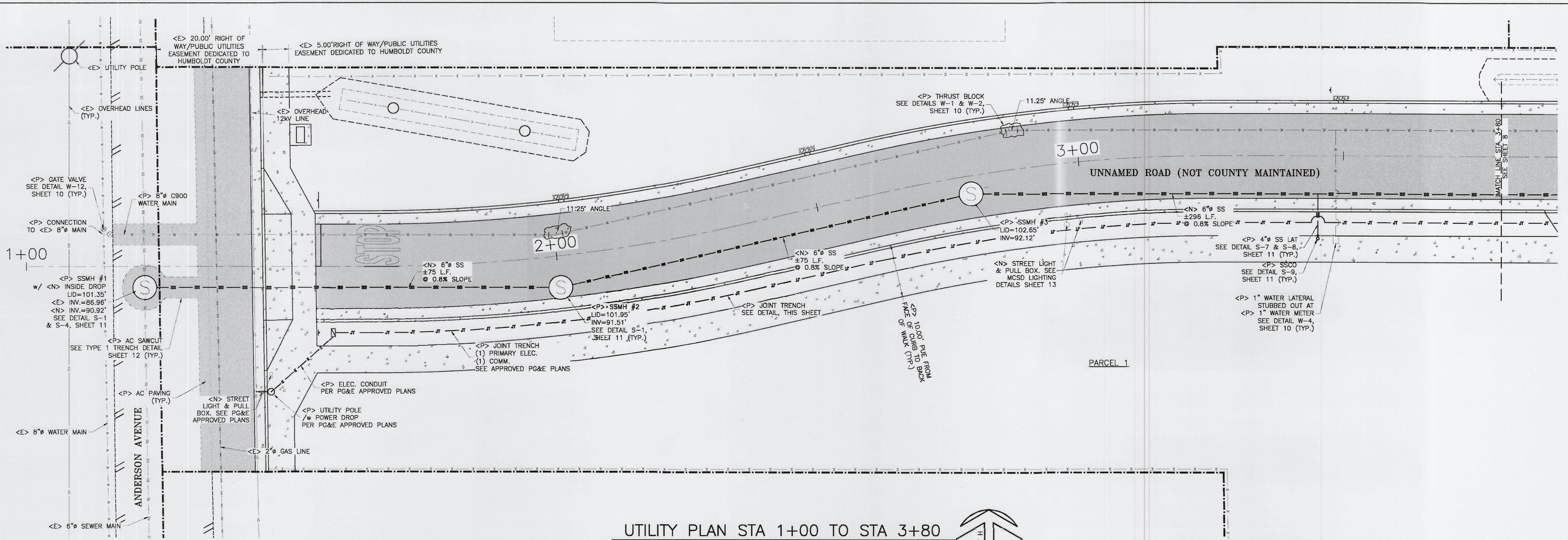


These plans are originally printed on 22"x34" paper.

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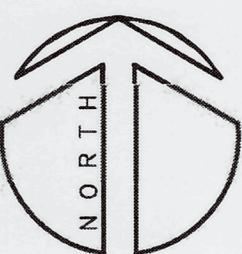
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UTILITY PLAN STA 1+00 TO STA 3+80

SCALE: 1" = 10'



UTILITY NOTES

1. EXISTING UTILITY SIZES AND LOCATIONS ARE APPROXIMATE. CONTRACTOR TO CONFIRM.
2. ELECTRICAL AND GAS UTILITY LOCATIONS AND SIZES ARE SCHEMATIC ONLY. ALL ELECTRICAL UTILITIES SHALL BE INSTALLED PER APPROVED PG&E PLANS.
3. PG&E UTILITIES SHALL BE INSTALLED PER REQUIREMENTS AS SET FORTH IN THE PG&E GREENBOOK.
4. ALL WATER MAINS TO BE DISINFECTED PER MCKINLEYVILLE COMMUNITY SERVICES DISTRICT DIRECTION PRIOR TO CONNECTION TO CITY SERVICES.
5. ALL SANITARY SEWER PIPE (LATERALS AND MAINS) SHALL BE POLYVINYL CHLORIDE (PVC) SDR35
6. MCSD STAFF SHALL BE NOTIFIED PRIOR TO PERFORMING TIE-IN TO EXISTING WATER MAIN IN ANDERSON ROAD, AND MCSD STAFF SHALL BE PRESENT WHILE PERFORMING THE TIE-IN.
7. CONTRACTOR TO PROVIDE MCSD WITH 24"X36" PROPOSED AS-BUILDS DRAWINGS POST CONSTRUCTION.
8. SANITARY SEWER MANHOLES ARE TO BE INSTALLED WITHOUT LADDERS PER MCSD REQUEST

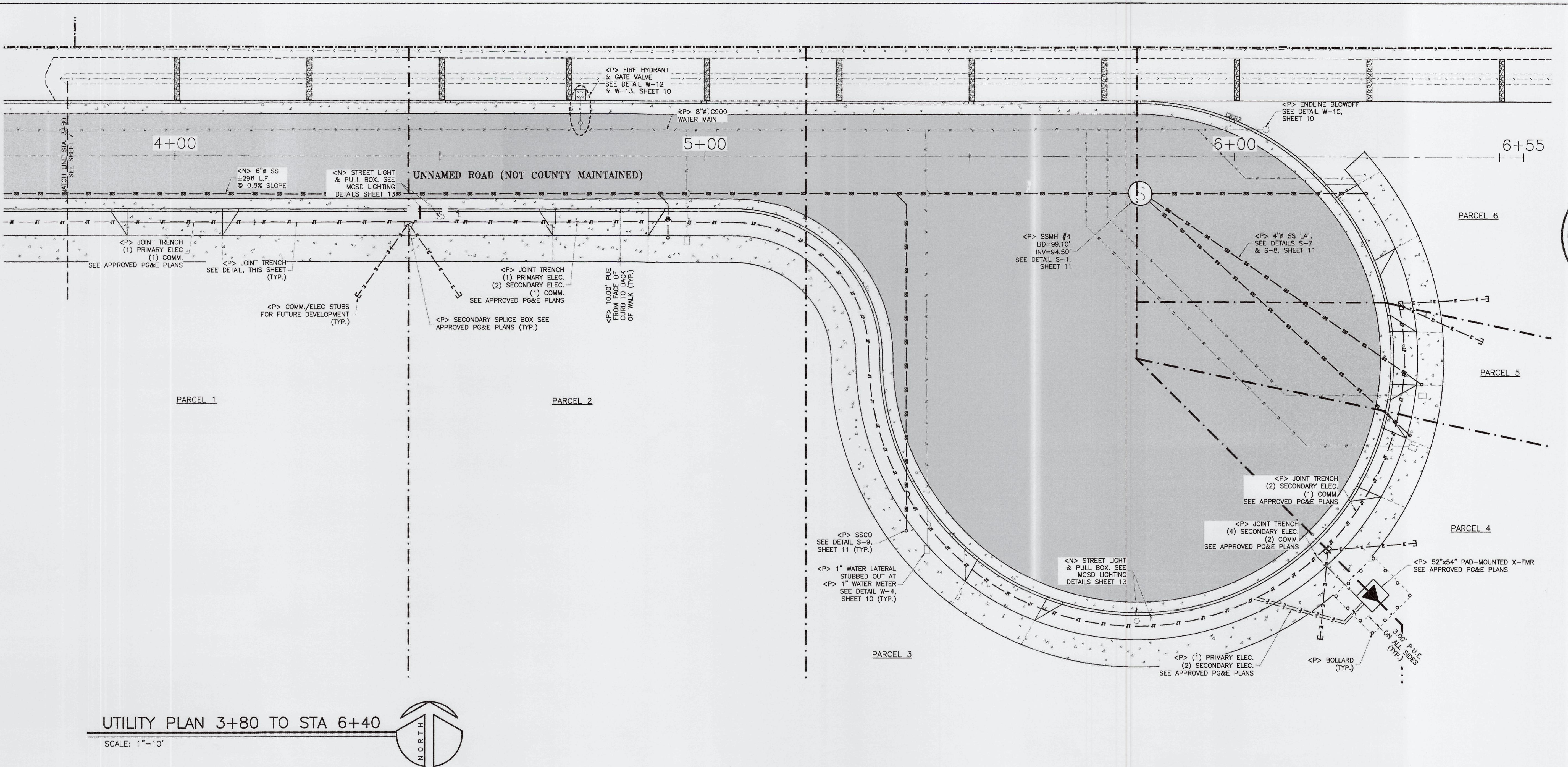
UTILITY LEGEND

-  - SANITARY SEWER MANHOLE
-  - FIRE HYDRANT
-  - SANITARY SEWER CLEANOUT
-  - WATER METER
-  - WATER VALVE

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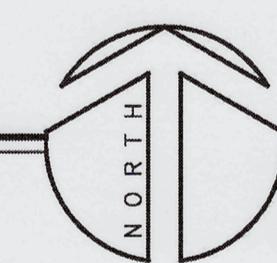
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RUFFINO RESIDENTIAL SUBDIVISION		APN: 508-091-039
ANDERSON AVENUE, MCKINLEYVILLE, CA 95519		610 9th Street Fortuna, California 95540
		Phone (707) 725-6926
PARTIAL UTILITY PLAN		
For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973		
		
06/17/2025		

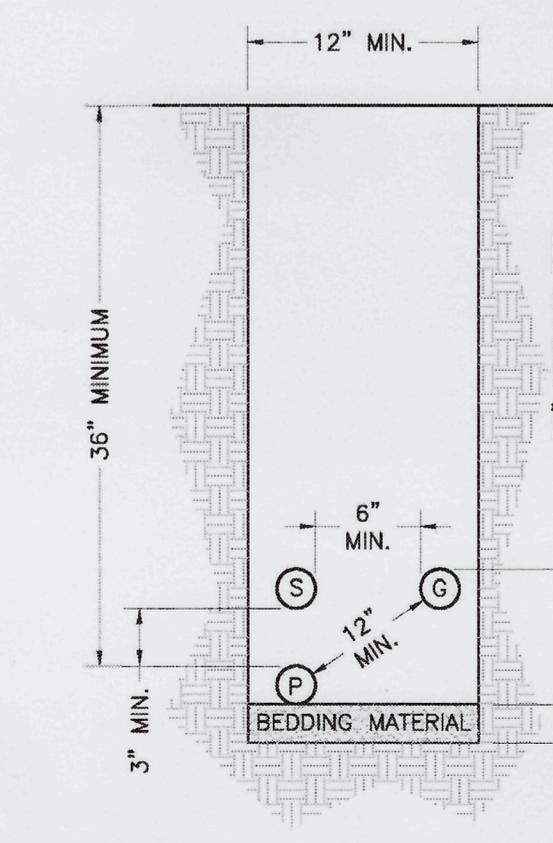
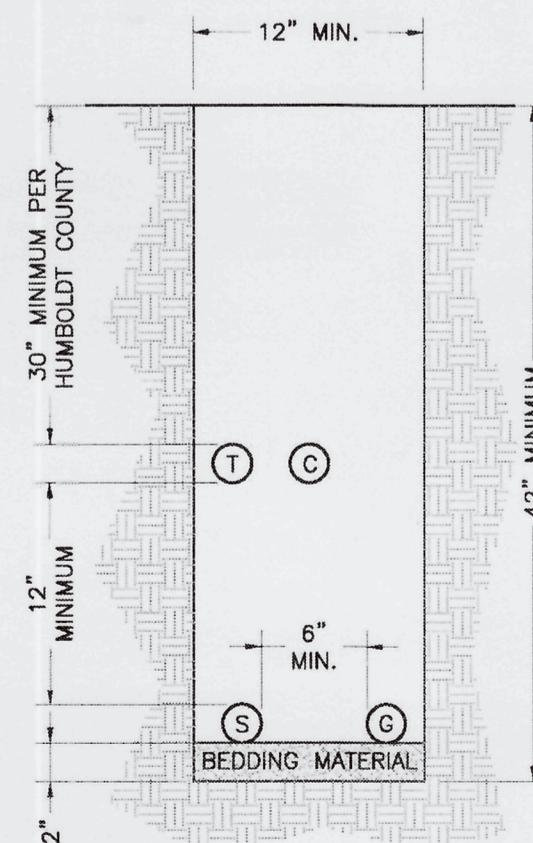


UTILITY PLAN 3+80 TO STA 6+40

SCALE: 1" = 10'



T = TELEPHONE
C = CABLE/TV
G = GAS
P = ELECTRIC PRIMARY
S = ELECTRIC SECONDARY



SEE PG&E GREENBOOK FOR JOINT TRENCH REQUIREMENTS

TYPICAL JOINT TRENCH DETAIL

NO SCALE

UTILITY NOTES

1. EXISTING UTILITY SIZES AND LOCATIONS ARE APPROXIMATE. CONTRACTOR TO CONFIRM.
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UTILITY LEGEND

-  – SANITARY SEWER MANHOLE

-  – FIRE HYDRANT

-  – SANITARY SEWER CLEANOUT

-  – WATER METER

-  – WATER VALVE

-  – ELECTRICAL TRANSFORMER

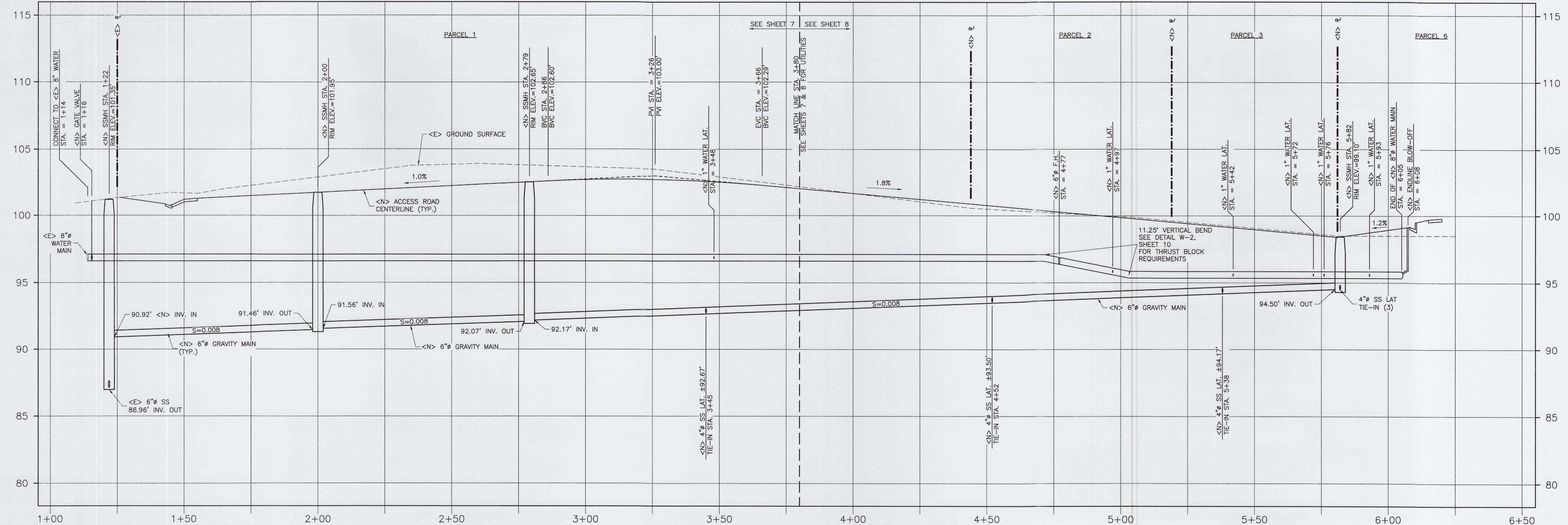
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RUFFFINO RESIDENTIAL SUBDIVISION		APN: 508-091-039
ANDERSON AVENUE, MCKINLEYVILLE, CA 95519		For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973
PARTIAL UTILITY PLAN		
Date	APR 28, '25	
Scale	AS NOTED	
Design	ZDJ	
Drawn	ALW	
Job	RUF2101.1	
Sheet	8	



producer: d49 6/16/2025



PROFILE STA. 1+00 TO STA. 6+50

SCALE: 1"=20' HORIZ.
1"=4' VERT.

VERTICAL CURVE PARAMETERS	
BEGIN VERT. CURVE STA.	2+86
BEGIN VERT. CURVE EL.	102.60'
POINT OF VERT. INTERSECTION STA.	3+26
POINT OF VERT. INTERSECTION EL.	103.00'
END VERT. CURVE STA.	3+66
END VERT. CURVE EL.	102.29'
LENGTH VERT. CURVE (L)	80'
ALGEBRAIC DIFFERENCE IN GRADE (A)	2.8%
RATE OF VERT. CURVATURE (K)	28.6

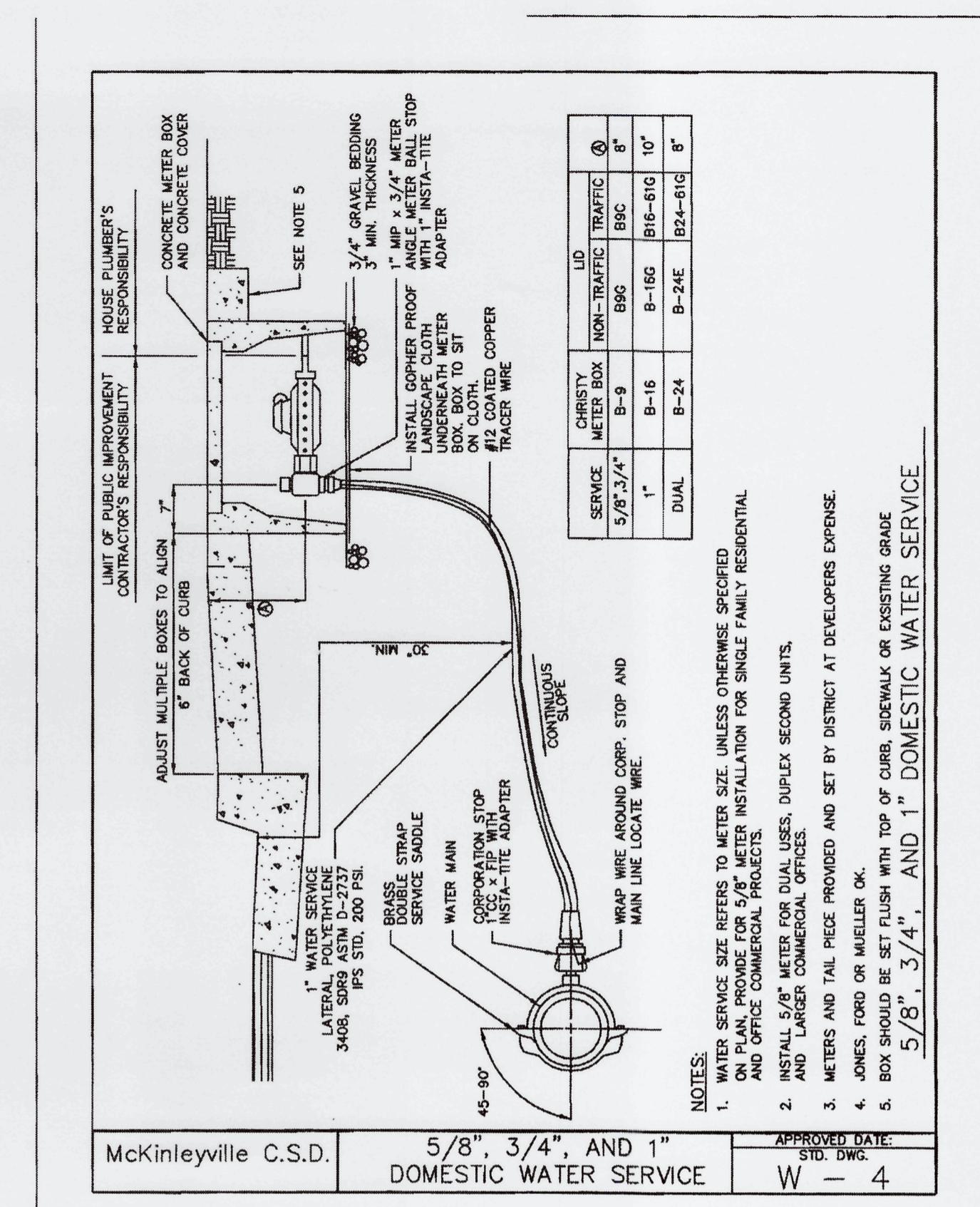
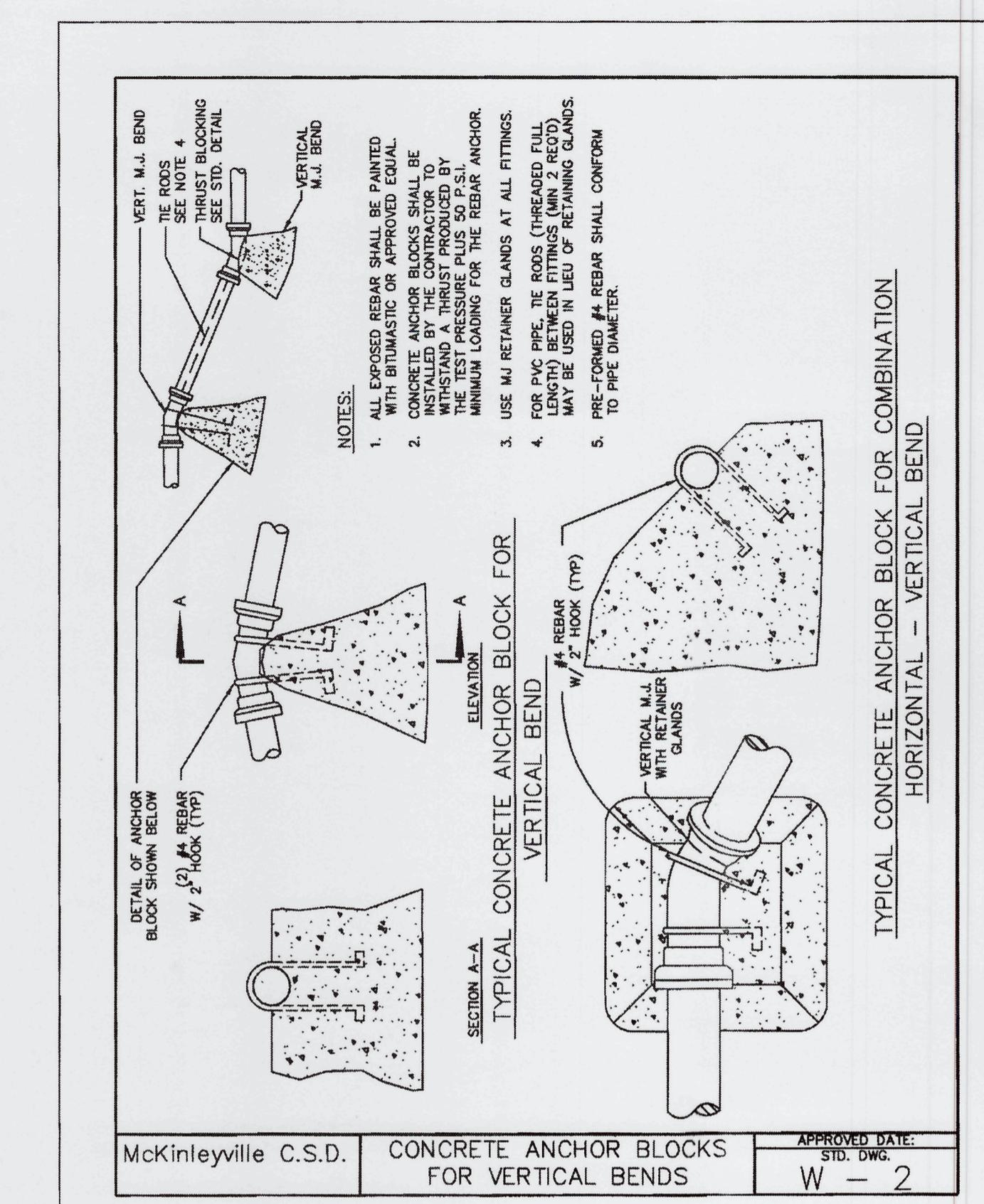
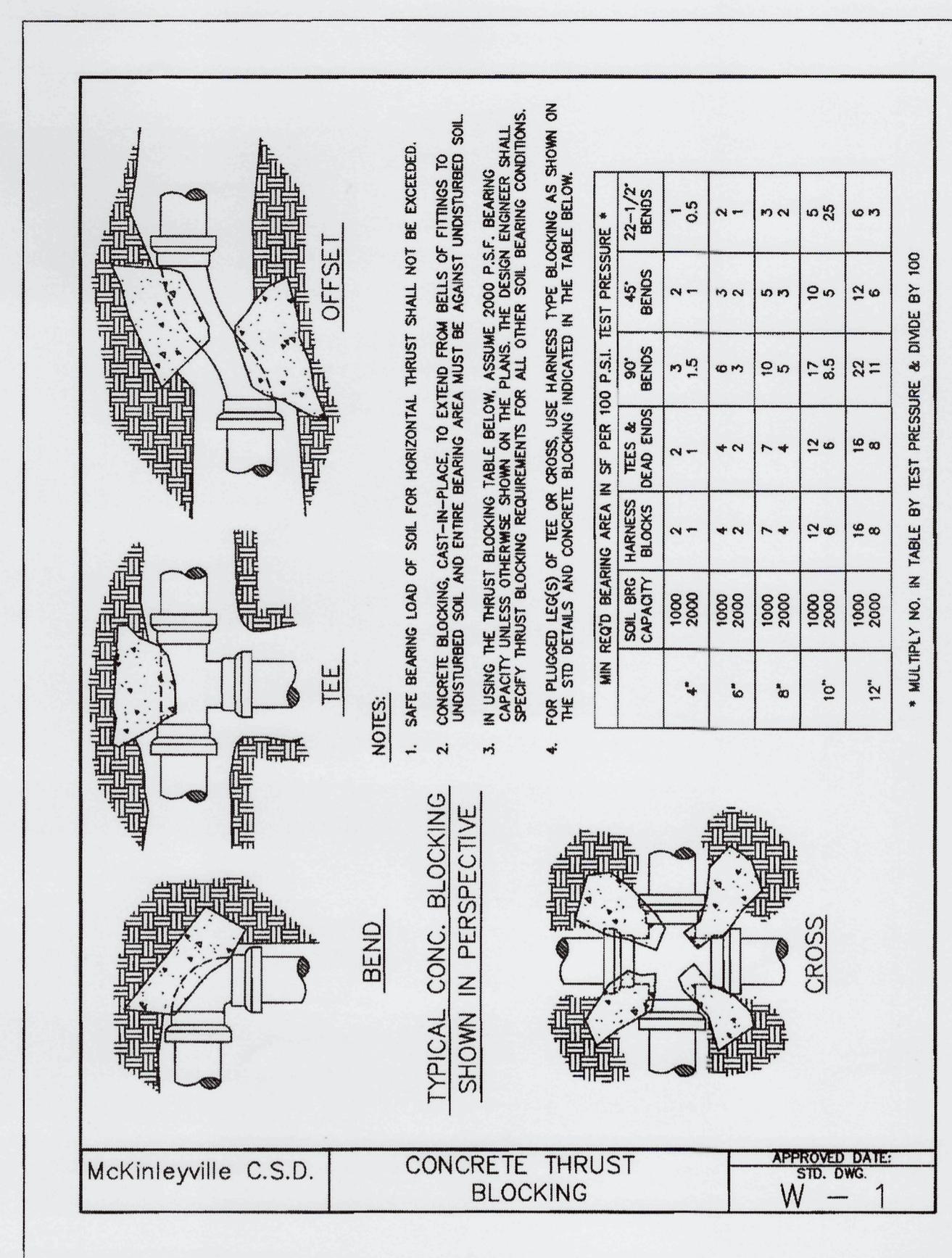
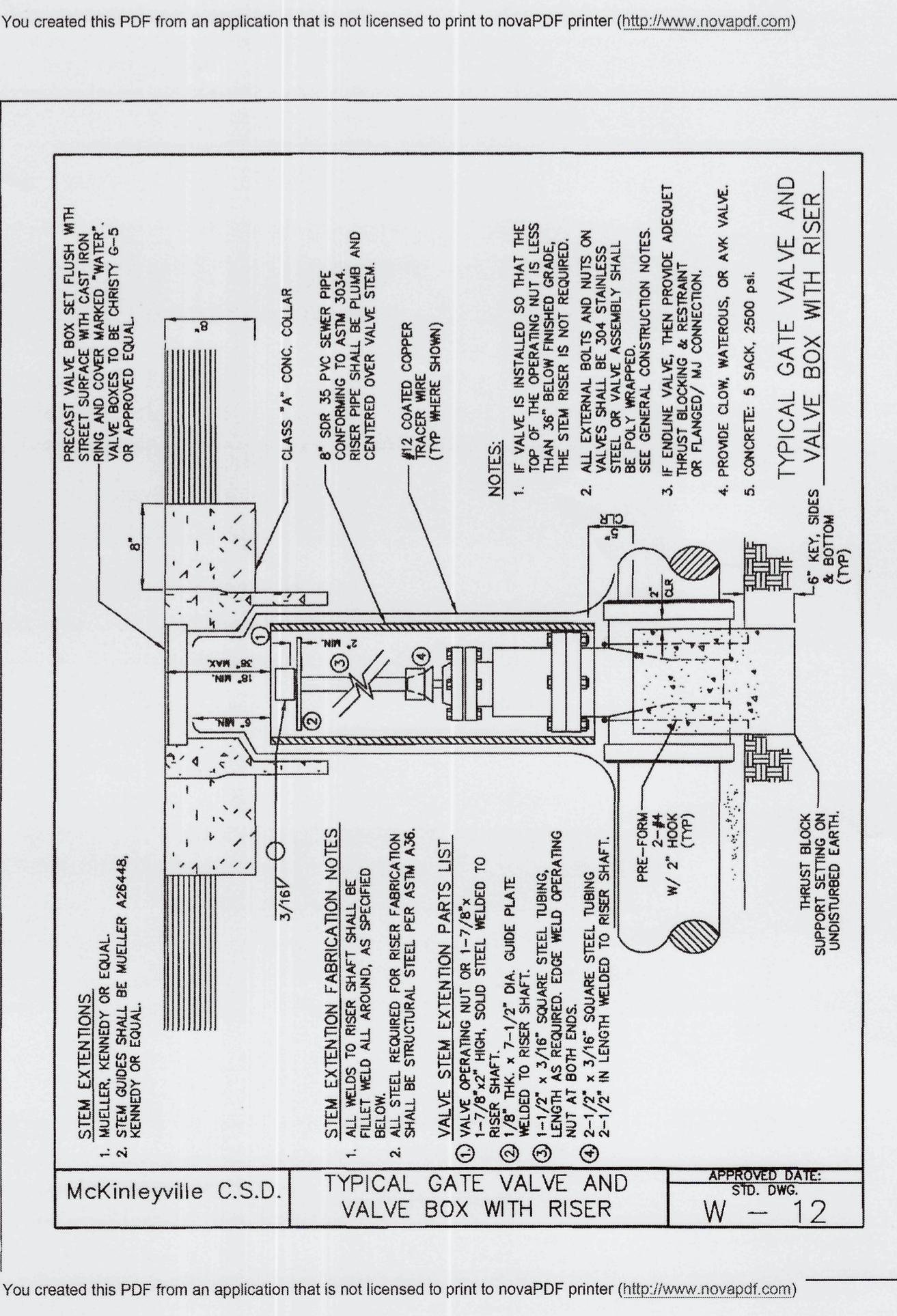
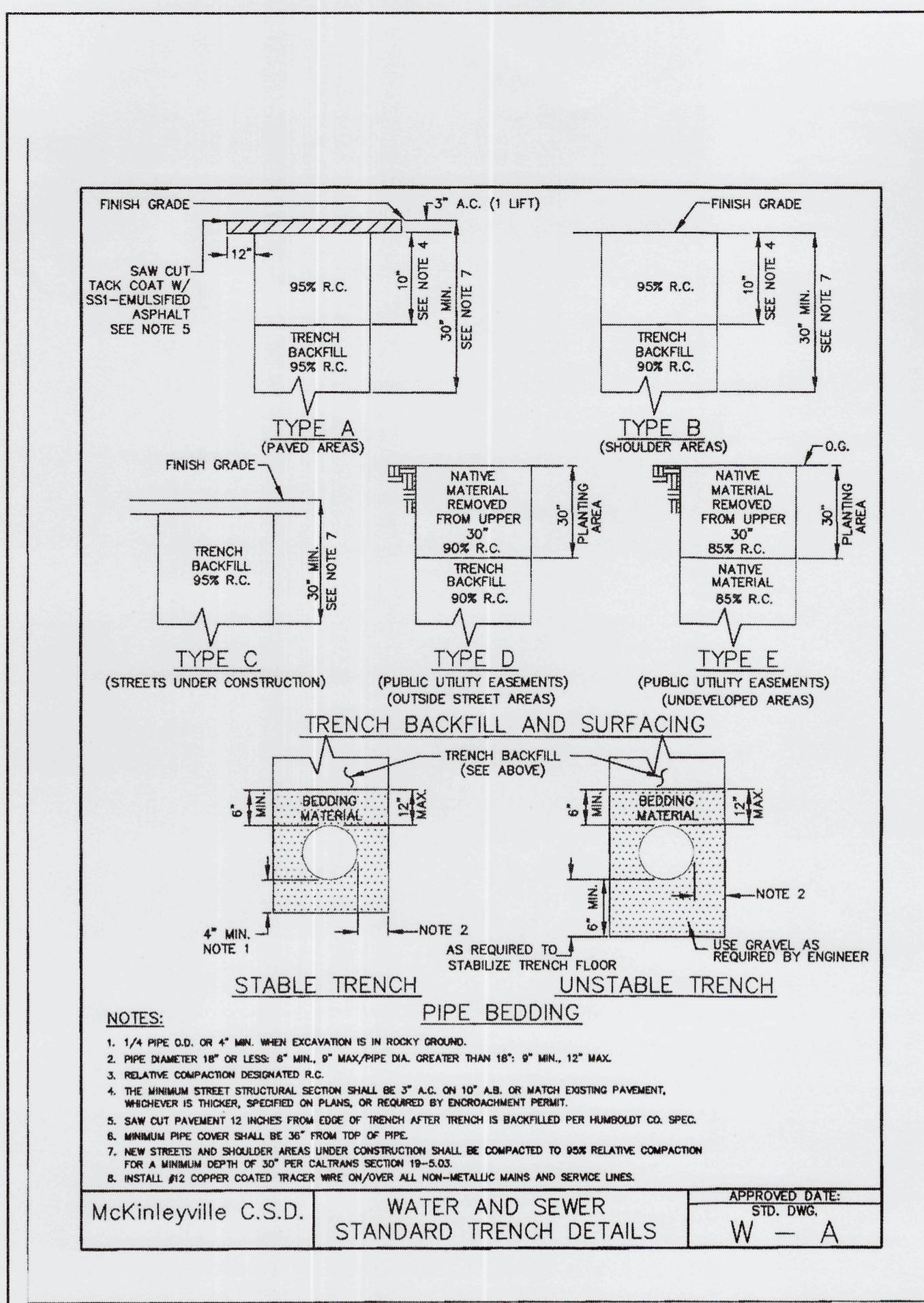
A circular blue stamp with the word "RECEIVED" at the top, the date "JUN 20 2025" in the center, and "Humboldt County PLANNING" at the bottom.

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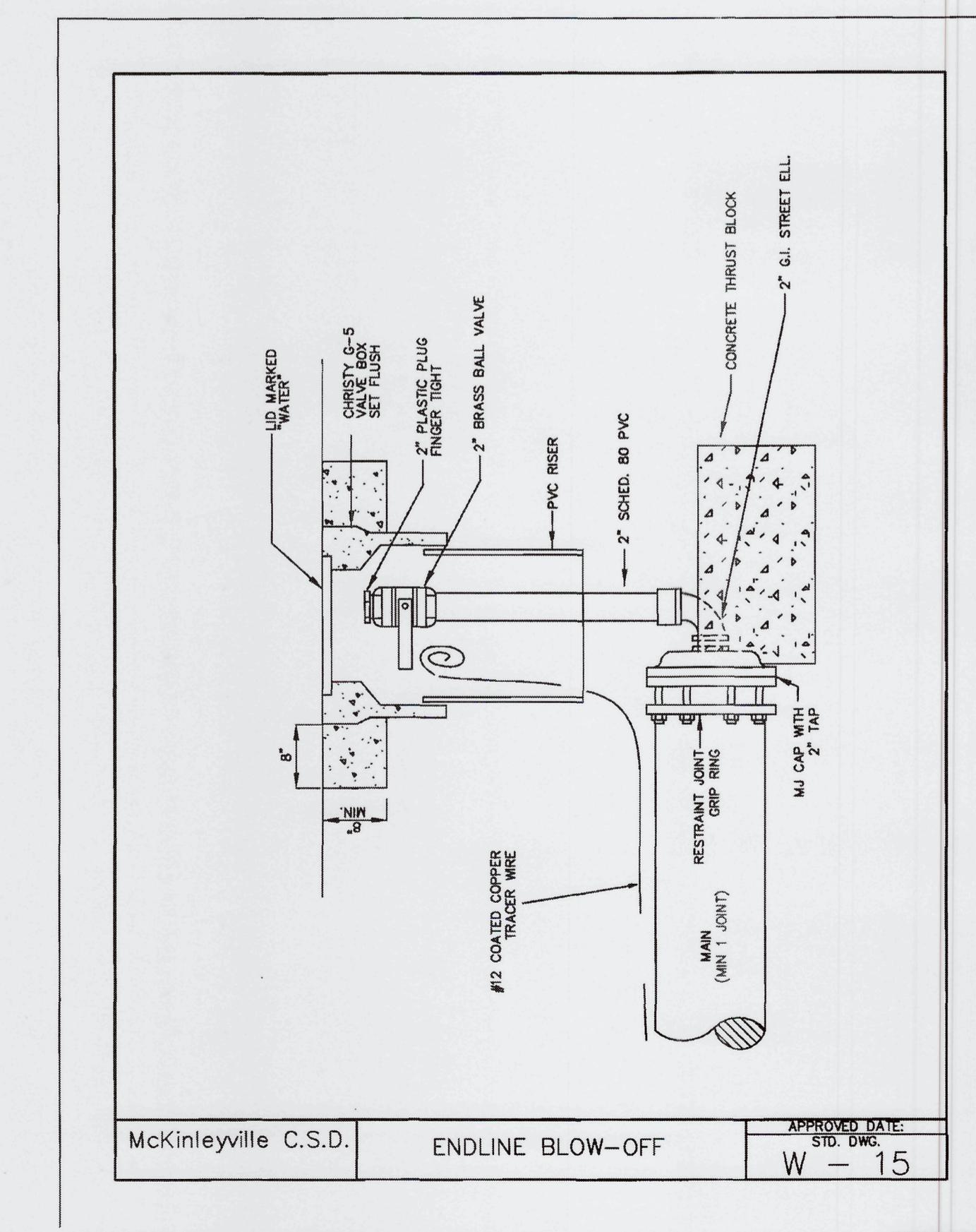
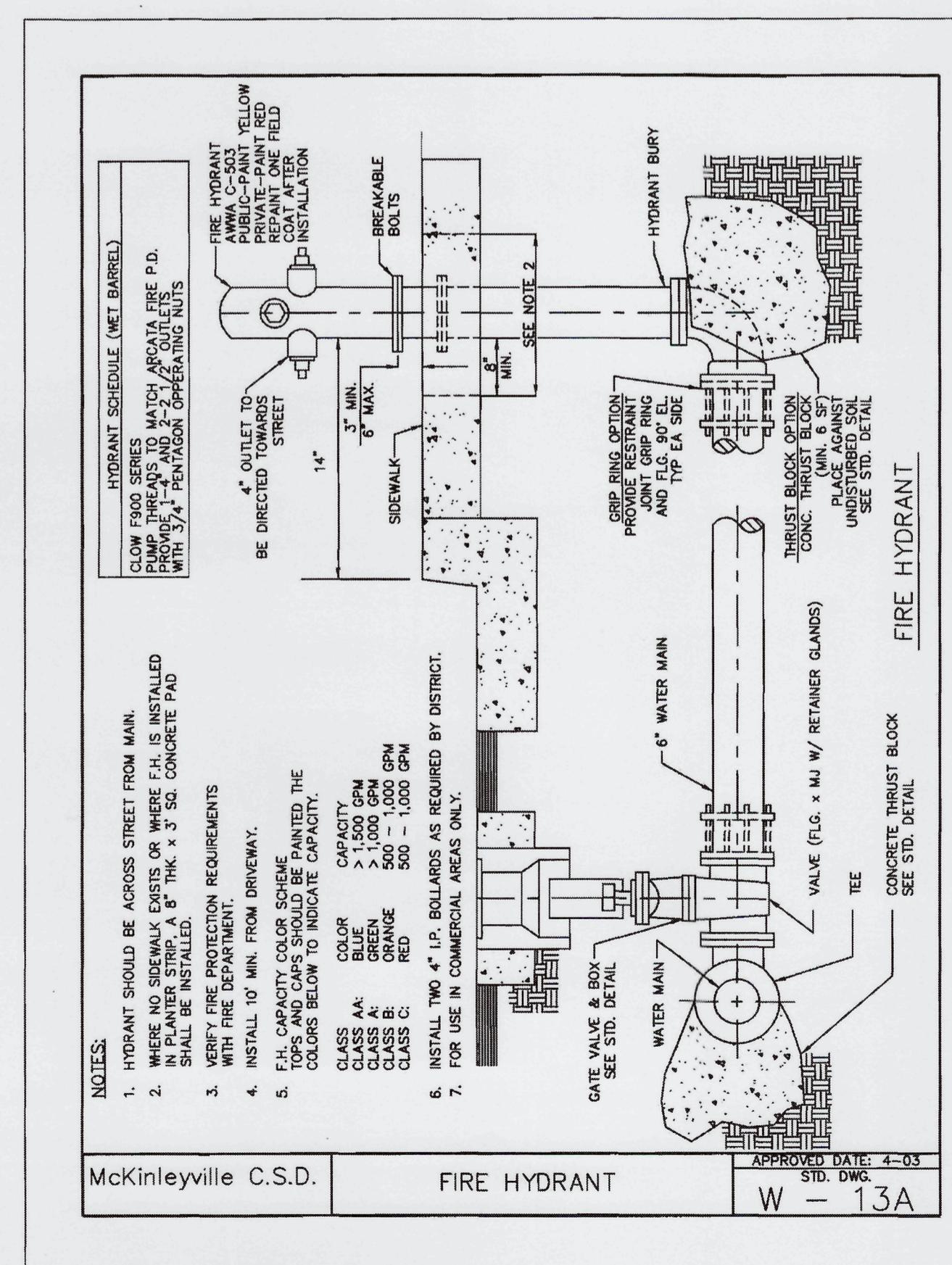
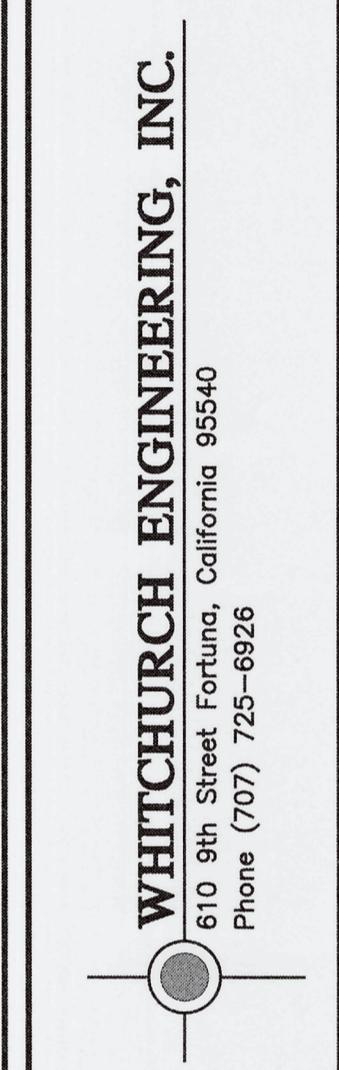
RUFFINO RESIDENTIAL SUBDIVISION	
ANDERSON AVENUE, MCKINLEYVILLE, CA 95519	APN: 508-091-1
UTILITY/ROADWAY PROFILE	
For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973	
APR 28, '25	
AS NOTED	
ZDJ	
ALW	
RUF2101.1	

כינור ופונקציית האינטגרציה 11



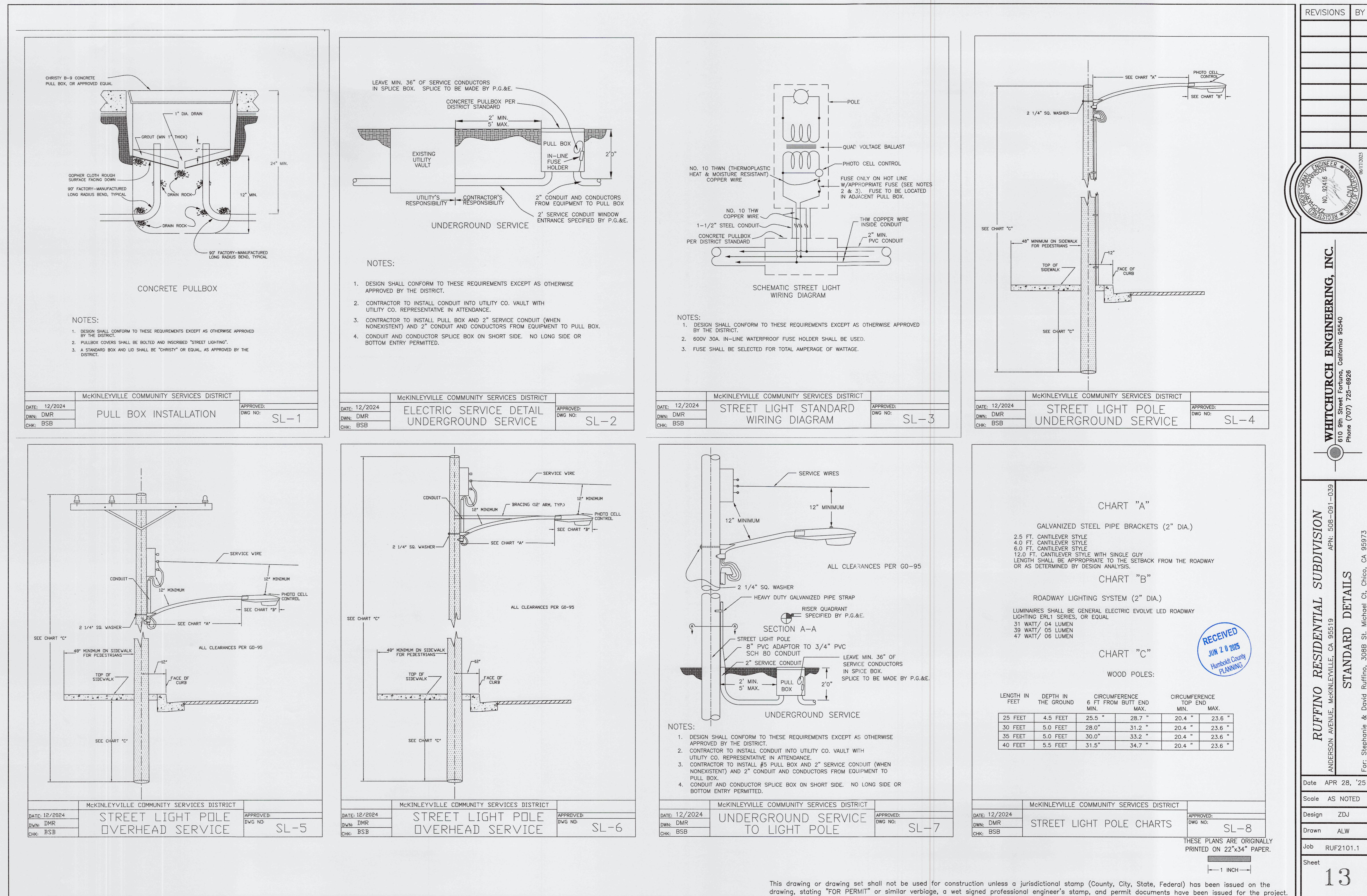
RUFFINO RESIDENTIAL SUBDIVISION		APN: 508-091-039
STANDARD DETAILS		ADDITIONAL INFORMATION
ANDERSON AVENUE, MCKINLEYVILLE, CA 95519		APN: 508-091-039
FOR: Stephanie & David Ruffino, 309B St. Michael Ct, Chico, CA 95973		RECEIVED JUN 20 2023
Date	APR 28, 2023	Humboldt County PLANNING
Scale	AS NOTED	6/14/2023
Design	ZDJ	Construction
Drawn	ALW	2021-04-28
Job	RUF2101.1	2021-04-28
Sheet	1	1 INCH

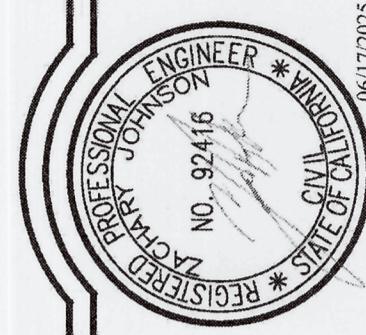
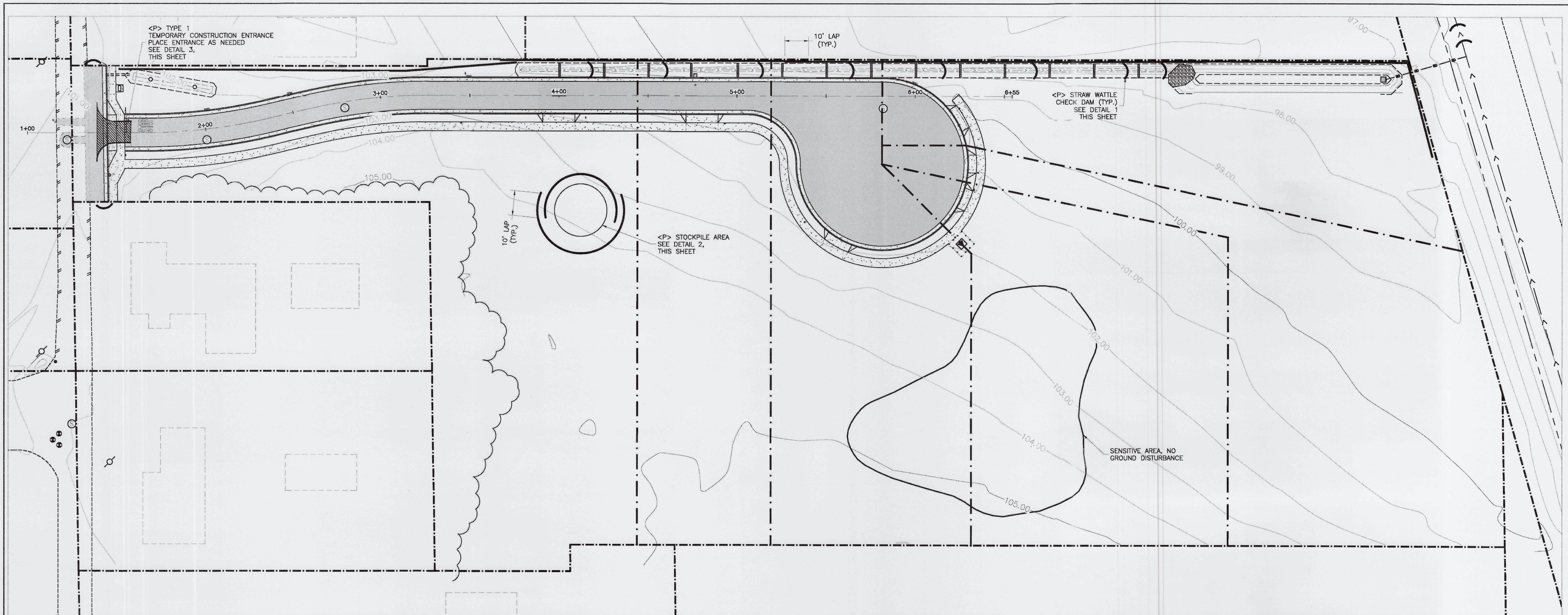
REVISIONS	BY
06/17/2025	



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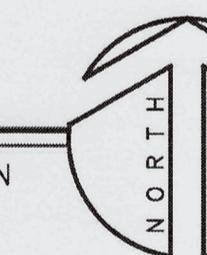
WHITCHURCH ENGINEERING, INC.
610 9th Street Fortuna California 95540

WILLIAMS CHURCH LUTHERAN
610 9th Street Fortuna, California 95540
Phone (707) 725-6926

EROSION CONTROL PLAN

SCALE: 1" =

SEE SHEET 1 FOR EF
CONTROL NOTES



NOTE:
INSTALL FIBER ROLL ALONG
A LEVEL CONTOUR.

4' MAX. SPACING

FIBER ROLL

4' MAX.

4' MAX.

INSTALL A FIBER ROLL NEAR
SLOPE WHERE IT TRANSITIONS
INTO A STEEPER SLOPE

TYPICAL INSTALLATION

$\frac{3}{4"} \times \frac{3}{4"}$ WOOD STAKES
MAX. 4' SPACING

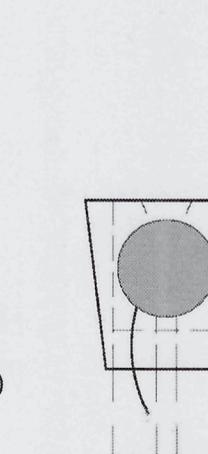
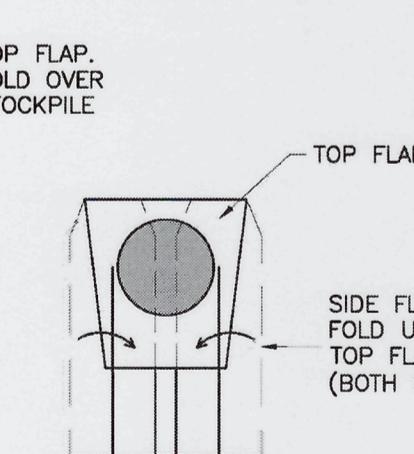
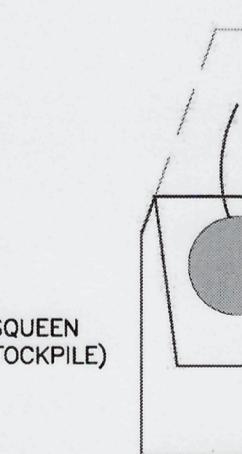
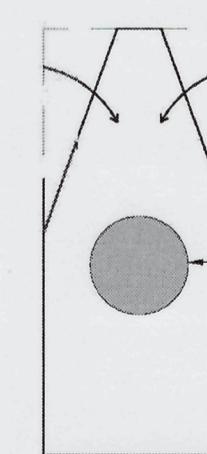
SLOPE VARIES

FIBER ROLL 8" MIN.

2" MIN.
4" MAX.

12" MIN.

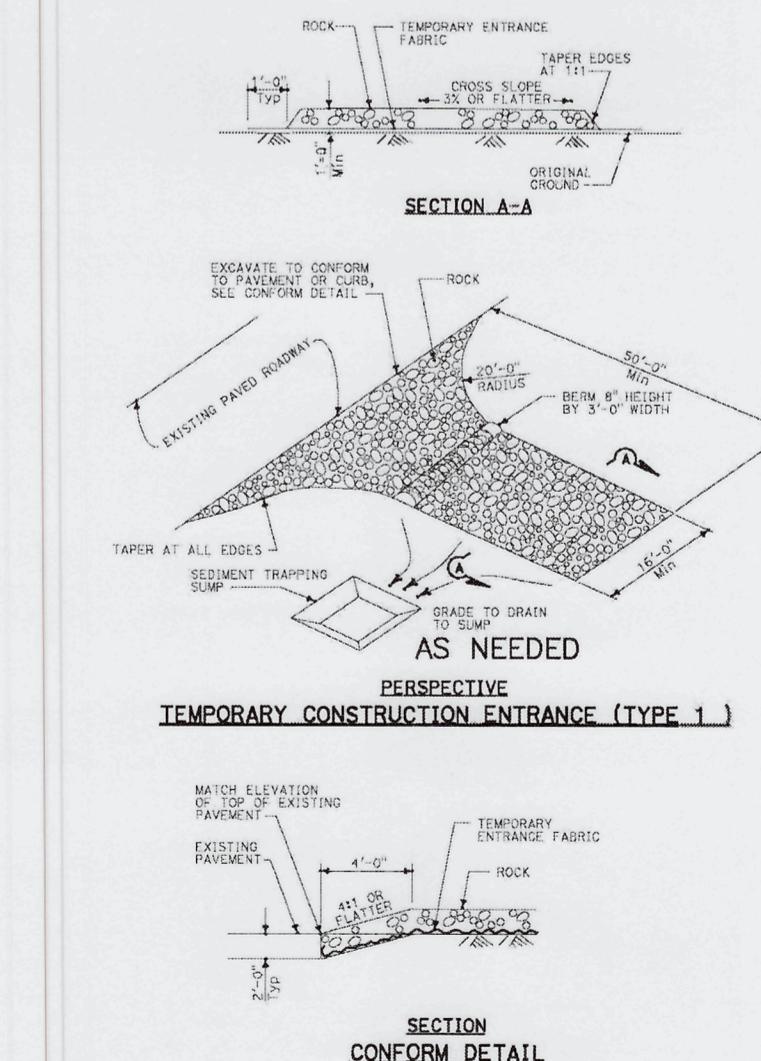
ENTRENCHMENT DETAIL



A circular diagram showing a roll top flap edge being fastened with a Symmloc fastener or equivalent. The diagram consists of a dark grey circle with a white border, representing the fastener, and a white circle with a dark grey border, representing the roll top flap edge.

BURRITO WRAP STOCK PILE CONTAINMENT

1 — FIBER ROLL DETAIL NO SCALE



TEMPORARY CONSTRUCTION ENTRANCE (TYPE 1)

SECTION
CONFORM DETA

STABILIZED CONSTRUCTION ENTRANCE

NO SCAN

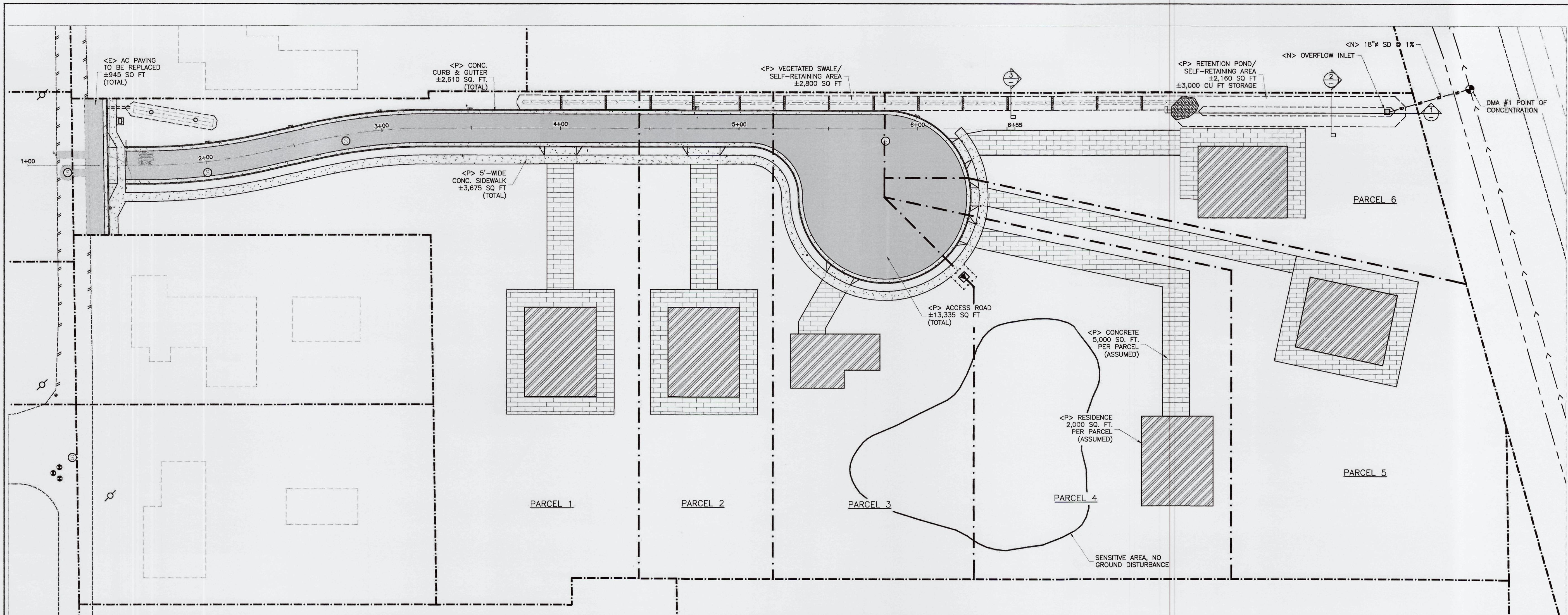
A circular blue ink stamp. The word "RECEIVED" is at the top in a bold, sans-serif font. Below it, the date "JUN 20 2025" is stamped. At the bottom, the text "Humboldt County" and "PLANNING" are stacked vertically.

THESE PLANS ARE ORIGINALLY
PRINTED ON 22"X34" PAPER.

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ANDERSON AVENUE, MCKINLEYVILLE, CA 95519		For: Stephanie & David Ruffino, 308B St. Michael Ct, Chico, CA 95973
EROSION CONTROL PLAN		610 9th Street Fortuna, California 95540 Phone (707) 725-6926
Date	APR 28, '25	
Scale	AS NOTED	
Design	ZDJ	
Drawn	ALW	
Job	RUF2101.1	
Sheet	14	

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LID NOTES

LOW IMPACT DEVELOPMENT DESIGNS/BEST MANAGEMENT PRACTICES MEET THE REQUIREMENTS SET FORTH IN THE STATE WATER RESOURCE CONTROL BOARD MS4 POST-CONSTRUCTION MEASURES AND HUMBOLDT COUNTY REQUIREMENTS.

TOTAL PROJECT AREA:	±177,906 (4.1 AC)
<E> ASPHALT PAVING AREA:	±705 SQ FT
<E> CONCRETE PAVING AREA:	±0 SQ FT
<E> STRUCTURE AREA:	±0 SQ FT
TOTAL <E> IMPERVIOUS AREA:	±705 SQ FT
<N> AC PAVING AREA:	±14,280 SQ FT
<N> CONCRETE PAVING AREA:	±36,285 SQ FT
<N> STRUCTURE AREA:	±12,000 SQ FT
TOTAL <N> IMPERVIOUS AREA:	±62,565 SQ FT
% INCREASE IN IMPERVIOUS AREA:	±8,874%

DRAINAGE MANAGEMENT AREA 1

TOTAL AREA:	177,906	SQ FT
TOTAL IMPERVIOUS AREA:	62,565	SQ FT
RETENTION POND/CISTERN VOLUME:	3,000	CU FT
RETENTION POND/CISTERN VOLUME:	22,440	GAL.
RETENTION POND/CISTERN CREDIT:	55,651	SQ FT
VEGETATED SWALE AREA:	2,800	SQ FT
VEGETATED SWALE CREDIT:	2,800	SQ FT
SELF RETAINING AREA:	4,960	SQ FT
SELF RETAINING AREA CREDIT:	17,360	SQ FT
TOTAL BMP CREDIT:	75,811	SQ FT
RUNOFF REDUCTION:	121.2%	

INCLUDES A 2.5 FT DEEP, 2,160 SQ FT STORAGE POND.
RUNOFF VALUES HAVE BEEN CALCULATED USING HUMBOLDT COUNTRY LID WORKSHEET FOR REGULATED
PROJECTS.
SEE STORM WATER CONTROL PLAN, DATED 4-9-24.

SEE STORM WATER CONTROL PLAN, DATED 4.9.2

LOW IMPACT DEVELOPMENT PLAN

SCALE: 1" = 30'

NOTE:
1. DRAINAGE INFRASTRUCTURE TO BE PRIVATELY
MAINTAINED BY PROPERTY OWNER

1 <P> RETENTION POND SECTION

A technical diagram of a rectangular pond section. The width of the pond is indicated as 5' (feet) between two vertical lines. The depth of the pond is labeled as 2.5' (feet) and is labeled as 'STORAGE DEPTH'. The bottom of the pond is marked with a hatched pattern. A vertical line on the left side of the pond is labeled '1' at the top and '2' at the bottom. A vertical line on the right side of the pond is labeled '3' at the top and '2.5' at the bottom. The diagram shows a cross-section of the pond's bottom, which slopes upwards from the center towards the sides.



TYPICAL SWALE SECTION

— NO SCALE

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RUFFINO RESIDENTIAL SUBDIVISION
1 AVENUE, MCKINLEYVILLE, CA 95519 APN: 508-091-
**PROPOSED LOW IMPACT DEVELOPMENT
PLAN**

Date APR 28, '25
Scale AS NOTED
Design ZDJ
Drawn ALW
Job RUF2101.1

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